

# **NOTICE OF CANCELLATION**

**The GHURA Scheduled Board Meeting of Friday, May 20, 2022 at 12:00 p.m. at the GHURA Main Office 1<sup>st</sup> floor Board Conference Room at 117 Bien Venida Avenue, Sinajana, Guam 96910 is canceled until further notice due to technical difficulties.**

**Thank you!**



**ELIZABETH F. NAPOLI**

**Acting Secretary of the Board of Commissioners**

**Guam Housing and Urban Renewal Authority**



**BOARD OF COMMISSIONERS  
REGULAR SCHEDULED MEETING  
12:00 P.M., May 20, 2022  
GHURA's Main Office (via Zoom)  
1<sup>st</sup> floor, Conference Room, Sinajana  
AGENDA**

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**I. ROLL CALL**

**II. BOARD MEETING PUBLIC ANNOUNCEMENTS**

1<sup>st</sup> Printing – Friday, May 13, 2022  
2<sup>nd</sup> Printing – Wednesday, May 18, 2022

**III. APPROVAL OF PREVIOUS BOARD MINUTES – April 8, 2022**

**IV. NEW BUSINESS**

	<b>PAGE (S)</b>
1. Resolution No. FY2022-009 .....	1 - 2
Resolution Approving the Above-Step Recruitment for Jerricho C. Garcia, General Accounting Supervisor (RPE)	
2. Intent of Award.....	3 - 7
Renovation of (6) Six Public Housing Units; IFB#GHURA-04-14-2022-AMPS 1, 3, & 4	
3. Request to Approve Change Order for the Inarajan Basketball Court	

**V. OLD BUSINESS**

1. Change Order for the Women’s Treatment Center .....	8 - 42
2. Change Order for the Sinajana Arts Center .....	43 - 64

**VI. CORRESPONDENCE AND REPORTS**

1. ROSS Program & Status Report ..... 65 - 81

**VII. GENERAL DISCUSSION / ANNOUNCEMENTS**

- 1. Award of FSS Certificate of Completion to Mr. Karl Corpus
- 2. Government of Guam’s Ethics Training
- 3. Next proposed scheduled Board Meeting: Friday, June 10<sup>th</sup> , 2022  
@ 12:00 p.m.

Commissioners will attend the next scheduled GHURA BOC meeting via:

Dr. John Rivera, Chairman	<input type="checkbox"/> Video Conference	<input type="checkbox"/> In-person
Monica Guzman, Vice Chairwoman	<input type="checkbox"/> Video Conference	<input type="checkbox"/> In-person
Frank Ishizaki, Commissioner	<input type="checkbox"/> Video Conference	<input type="checkbox"/> In-person
Anisia Delia, Commissioner	<input type="checkbox"/> Video Conference	<input type="checkbox"/> In-person
Nate Sanchez, Commissioner	<input type="checkbox"/> Video Conference	<input type="checkbox"/> In-person
Emilia Rice, Commissioner	<input type="checkbox"/> Video Conference	<input type="checkbox"/> In-person
Karl Corpus, Resident Commissioner	<input type="checkbox"/> Video Conference	<input type="checkbox"/> In-person

Acknowledged by Chairman Rivera \_\_\_\_\_ Date: \_\_\_\_\_

**VIII. ADJOURNMENT**



Guam Developmental Disabilities Council

The Guam Developmental Disabilities Council will be having its Virtual Executive Committee Meeting on Wednesday May 18, 2022 starting at 9:00am. For additional information, please call (671) 475-1727. Request(s) for special accommodation must be submitted 2 hours in advance.

### AGENDA

- I. Call to Order / Roll Call
- II. Review of Minutes:
  - A. Wednesday November 17, 2022
  - B. Wednesday February 23, 2022
- III. Reports
  - A. Executive Directors Report
  - B. Council Membership Status
  - C. Standing Committee Reports
  - D. Attendance Matrix
- IV. Old Business
  - A. FY-2022 Budget
  - B. ACL / OIDD Funding
    - 1. Expanding Disabilities Network's Access to COVID-19 Vaccines
- V. New Business
  - A. NACDD / ITACC Annual Conference July 2020 Washington, D.C.
  - B. State Plan Amendment
- VI. Announcements
- VII. Adjournment

Funded by Grant #2101GUSCDD, Administration for Community Living, Guam DD Council. Broadcast Live Stream at <https://www.facebook.com/guamddcouncil>



424 Route 8 • Maite, Guam 96910 T: 671.475.8900/01 • F: 671.475.8922

### PUBLIC NOTICE

For: Regular Board Meeting Date: Friday, May 20, 2022 Time: 12:30 p.m. Place: GGRF Conference Room  
 Zoom Meeting Link: <https://us06web.zoom.us/j/86371586536?pwd=WFRZV28zYVdEY0RlbnhFbFYQTAA5aXZMQ0R09>  
 YouTube Channel: [https://www.youtube.com/channel/UCGdR3yXRE32TB\\_K9d4J73UQ](https://www.youtube.com/channel/UCGdR3yXRE32TB_K9d4J73UQ)

- |  |  |   |   |
|--|--|---|---|
| <b>DEFINED CONTRIBUTION</b>              | <b>VI. Standing Committee Reports</b>      | <b>DEFINED BENEFIT</b>                        | <b>VIII. Standing Committee Reports</b>         |
| I. Call to Order                         | Reports                                    | I. Call to Order                              | Reports   |
| II. Review and Approval of Board Minutes | A. Investment Committee                    | II. Executive Session                         | A. Investment Committee                         |
| A. 4/22/2022 Regular Meeting             | B. Members and Benefits Committee          | A. Litigation Relating to Special Proceedings | B. Members and Benefits Committee               |
| III. Correspondence                      | VII. Old Business                          | Case No. SP-0035-21                           | IX. Old Business                                |
| A. None                                  | A. None                                    | III. Review and Approval of Board Minutes     | A. None   |
| IV. Director's Report                    | VIII. New Business                         | A. 4/22/2022 Regular Meeting                  | X. New Business                                 |
| V. Third Party Administrator's Report    | A. None                                    | IV. Correspondence                            | A. Actuarial Valuation as of September 30, 2021 |
| A. Contribution Report - April 2022      | IX. Open Discussion / General Public Input | A. None                                       | XI. Open Discussion / General Public Input      |
|  | X. Announcements                           | V. Director's Report                          | XII. Announcements                              |
|  | XI. Adjournment                            | VI. Legal Counsel's Report                    | XIII. Adjournment                               |
|  |  | A. None                                       |   |
|  |  | VII. Treasurer's Report of Financial Status   |   |



### DEPARTMENT OF ADMINISTRATION GENERAL SERVICES AGENCY

Ahensian Setbision Hinirata

148 Route 1 South Marine Corps Drive, Piti, GU 96915

Telephone: (671) 475-1707/1708 • Fax: (671) 472-4217/1727

Email: [gsaprocurement@sadoa.guam.gov](mailto:gsaprocurement@sadoa.guam.gov) • Website: [www.gsa.doa.guam.gov](http://www.gsa.doa.guam.gov)



EDWARD M. BIRM  
Director (Direktor)

Bernadine C. Gines  
Deputy Director (Sigundo Direktor)

THIS ADVERTISEMENT WAS PAID WITH GOVERNMENT FUNDS BY:

#### Department of Public Works

A non-refundable fee of \$10.00 per bid package will be assessed.

Certified Check, Cashier's Check, Cash will be accepted. No personal or Company Check.

Payment for bid package picked up after 3:00 pm will not be accepted.

### INVITATION FOR BID

**BID NO:** GSA-050-22  
**For:** Tractor Mower 4x4 Utility  
**Opening Date:** May 31, 2022 Time: 10:00 A.M.  
**Location to submit:** General Services Agency, Piti Guam

The General Services Agency is issuing this Invitation for Bid for Tractor Mower 4x4 Utility. A pdf copy is available to download at [www.gsa.doa.guam.gov](http://www.gsa.doa.guam.gov), or a hard copy can be obtained at the General Services Agency located at 148 Route 1, Marine Corp Drive Piti, Guam 96915 from 8:00am – 5:00pm, Monday through Friday, beginning Friday, May 13, 2022 until Tuesday, May 31, 2022.

Bidders must register their current contact information with GSA to ensure they receive any notices regarding changes or updates to the IFB. The procuring agency and GSA will not be liable for failure to provide notice to any party who did not register current contact information.

/s/ CLAUDIA S. ACFALLE  
Chief Procurement Officer



### GHURA

Guam Housing and Urban Renewal Authority

Aturidat Ginima' Yan Rinueban Siudat Guahan

117 Bien Venida Avenue, Sinajana, GU 96910

Phone: (671) 477-9851 • Fax: (671) 300-7565 • TTY: (671) 472-3701

Website: [www.ghura.org](http://www.ghura.org)



EQUAL HOUSING OPPORTUNITY  
Joshua F. Tenorio  
Lieutenant Governor of Guam

Lourdes A. Leon Guerrero  
Governor of Guam

**Board of Commissioners Meeting**  
**Friday, May 20, 2022 at 12:00 PM.**  
**This meeting is open to the public via Zoom.**

**Topic:** GHURA BOC Mtg. May 20, 2022  
**Time:** May 20, 2022 12:00 PM Guam, Port Moresby  
**Join Zoom Meeting:**  
<https://us06web.zoom.us/j/88213387937?pwd=dllBSVZkcU85RlNndVM0WG9qamNrQT09>  
 Meeting ID: 882 1338 7937 Passcode: 328132  
 Watch Youtube Live Stream: <https://www.youtube.com/channel/UC1LT40uuVvfGQ8K7vSo7yVYA>

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- I. ROLL CALL
  - II. BOARD MEETING PUBLIC ANNOUNCEMENTS
  - III. APPROVAL OF PREVIOUS BOARD MINUTES – April 8, 2022
  - IV. NEW BUSINESS
    - 1. Resolution No. FY2022-009; Resolution Approving the Above-Step Recruitment for Jerricho C. Garcia, General Accounting Supervisor (RPE)
    - 2. Change Order for the Inarajan Basketball Court
  - V. OLD BUSINESS
    - 1. Change Order for the Women's Treatment Center
    - 2. Change Order for the Sinajana Arts Center
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    - 3. Next proposed scheduled Board Meeting – Friday, June 10, 2022
  - VIII. ADJOURNMENT

The complete Board packet may be viewed on our website at [www.ghura.org](http://www.ghura.org).  
 For more information, please contact Audrey Aguon at 475-1378 and for special accommodations, please contact Chief Planner - Designated Section 504 / ADA Coordinator at 475-1322 or TTY 472-3701.

This advertisement was paid for by GHURA



The GUAM VISITORS BUREAU would like to establish a list of candidates for the following positions:

- 1) Destination Specialist - Safety & Satisfaction**  
(Tourism Industry Relations Officer)  
Pay Range: (M) \$40,762 - \$61,143
- 2) Personnel Specialist II**  
Pay Range: (M) \$40,762 - \$61,143

The job descriptions and applications for these positions can be picked up at 401 Pale San Vitores Road, Tumon, Guam 96913 from 8:00 am – 5:00 pm, Monday through Friday except designated holidays. Applications are also available online at the GVB website at <https://www.guamvisitorsbureau.com/news/employment-announcements>.

Deadline to submit application is **5:00 p.m., Friday, May 27, 2022.**

When submitting your resume in person, please be sure to place all relevant documents in a sealed envelope with your name and the position title that you are applying for and address all correspondences and/or submissions to the attention of Josie G. Villanueva, Director of Finance & Administration.

Federal and local law requires verification of identity and eligibility of all new hires. GVB complies with the law on a non-discriminatory basis. Guam Visitors Bureau is an Equal Opportunity Employer.

/s/ Carl T.C. Gutierrez  
President and CEO

This advertisement was paid for by the Tourist Attraction Fund.

GUAM VISITORS BUREAU | SETBISION BISITAN GUÁHAN  
 401 Pale San Vitores Road | Tumon, Guam 96913 | 671-646-5278 | 671-646-3917 fax  
[guamvisitorsbureau.com](http://guamvisitorsbureau.com) | [visitguam.com](http://visitguam.com) | [info@visitguam.com](mailto:info@visitguam.com)



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## The Apostle Of Grace

by Pastor Cornelius R. Stam

The conversion of Saul of Tarsus was an amazing event. Saul loathed the very name of Christ. He blasphemed Him and caused others to be tortured so as to compel them to blaspheme that holy name. He led his nation and the world in rebellion against the resurrected, glorified Christ – the world which had already disowned and crucified the lowly Jesus.

But as Saul went to Damascus, still "breathing out threatenings and slaughter against the disciples of the Lord" (Acts 9:1), God did a wonderful thing. Rather than crush the leader of the world's rebellion, He saved him. Christ broke through the heavens, as it were, to speak words of pity to His greatest enemy on earth. As a result Saul's rebellious spirit was broken and in one moment the pitiless persecutor became the docile, indeed the devoted follower of Christ.

More than this, Saul of Tarsus, the persecutor, became Paul the Apostle. To him the glorified Lord committed "the dispensation of the grace of God" (Eph. 3:2) and "the gospel of the grace of God" (Acts 20:24). Now he went everywhere proclaiming grace, telling men how God loved them, how Christ had come into the world and had gone to Calvary to pay man's debt of sin so that believing sinners might be saved.

"The gospel of the grace of God," found in Paul's epistles, does not blame anyone for the death of Christ. Rather it presents the cross as good news. It declares that "we have redemption through His blood, the forgiveness of sins according to the riches of His grace" (Eph. 1:7). It says that "God hath concluded them all in unbelief that He might have mercy upon all" (Rom. 11:32) and that "where sin abounded, grace did much more abound" (Rom. 5:20). Thus the vilest sinner may believe and rejoice in the consciousness of sins forgiven.



CURRENCY EXCHANGE RATES  
On May 17, \$1 was worth:

Keep posted and get more data and details online. Log on to see real time market data with our stock market tool at [postguam.com/stock\\_market](http://postguam.com/stock_market).

52.428 PHP	129.35 JPY	1,274.90 KRW	29.673 TWD	6.7566 CNY	1.4253 AUD	0.9549 EUR
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# GHURA contractor fined \$6K, paid \$17K in back wages

A federal investigation has found that a construction company under contract with the Guam Housing and Urban Renewal Authority disregarded its legal obligation to pay 10 workers the required overtime rate for hours worked over 40 in a workweek, the U.S. Department of Labor Wage and Hour Division announced in a press release.

Investigators with the Wage and Hour Division determined that O.H. Construction, owned by Michael Jeon Lee, violated the Fair Labor Standards Act, according to the federal agency.

The employer also violated minimum wage, payroll and basic records

provisions of the Davis-Bacon and Related Acts by not paying the higher applicable wage to workers in multiple job categories, the agency added.

The company also did not display or make available required Davis-Bacon and Related Acts informational resources at the worksite, as the law requires.

The division recovered \$17,640 in back wages and liquidated damages for the affected workers, and assessed \$6,170 in civil money penalties for reckless disregard of the act, according to the agency.

"Employers can't enter into ad hoc agreements with workers that deny them their lawfully earned overtime



## How to file a complaint:

To learn more and your rights under federal wage and hour laws, contact:

The U.S. Department of Labor

Wage and Hour Division,  
Guam office

671-473-9178 Or  
1-866-4-USWAGE  
(1-866-487-9243)

wages," said Wage and Hour Division district director Terence Trotter, in Honolulu. "Employers should take advantage of the many educational

tools we offer in order to avoid costly violations such as those found in this case."

In fiscal year 2021, the Wage and Hour Division identified more than \$36 million in wages owed to people working in the construction industry.

The Davis-Bacon and Related Acts apply to contractors and subcontractors performing on federally funded or assisted contracts in excess of \$2,000 for the construction, alteration, or repair, including painting and decorating, of public buildings or public works.

Projects under GHURA are mostly, if not entirely, federally funded.

(Daily Post Staff)

# With weakening yen, supply-chain chaos, Japan's offshore manufacturers look to head back home

By Masumi Suga  
Bloomberg

Japanese manufacturers are increasingly looking to move offshore operations to their home market, according to a Tokyo Steel Manufacturing executive.

The rapidly weakening yen that boosts the competitiveness of Japanese exports, global supply-chain constraints, geopolitical risks and shifting wage patterns are prompting the switch, Kiyoshi Imamura, a managing director of the steelmaker, said in an interview last week in Tokyo.

Among those moving manufacturing to Japan are makers of everything from auto parts to cosmetics

and consumer electronics, he said, with the trend expected to accelerate toward the end of this year.

According to Imamura, more Japanese companies are shifting operations out of China, Southeast Asia and Russia. The move to build new plants in their home country is fueling demand for steel used in construction, with the company receiving nearly 30 orders related to such switches, he said.

"The yen has fallen so much that Japan's trade balance won't be back in the black - under such circumstances, companies judge it's better to do manufacturing in Japan," Imamura said. His company has seen orders for steel used in construction

rise 10% so far this year, compared with a year earlier, he said.

The yen has declined about 11% against the U.S. dollar since the start of the year, exacerbating rising prices for Japan's imported commodities.

Even before the yen's tumble this year, the Japanese government had been supporting relocation of domestic companies' production bases back to the country.

The Ministry of Economy, Trade and Industry is funding companies to assist them to invest in new plants that make crucial products and materials to alleviate the risks of supply-chain bottlenecks. In November, the government also approved 774 billion yen (\$6 billion) in funding for domestic semi-

conductor investment.

"It might sound a bit bullish, but I think a little construction boom will come," Imamura said at separate group briefing on Monday. The reshoring trend will last at least two to three years, according to the executive.

"Now that the yen has weakened, it's no surprise more companies will work on boosting domestic production capacity," Takayuki Homma, chief economist at Summito Global Research said in a separate interview. The falling yen, which was increasing export margins, was "offering an option to ship goods from Japan strategically," he said.

Surging labor costs in other nations are also a factor. Imamura said Japan's wages have barely changed over the past 30 years, while wages in Southeast Asia have roughly tripled over the same period.

With Sincere Appreciation


Our sincerest and most heartfelt gratitude to the many relatives and friends who were present in our time and sorrow on the rosaries and nightly masses of our son, brother, and father

*Luke Imaizumi Atoigue*

Your unending support of love, prayers, and condolences have deeply touched our hearts. May the Lord continue to bless each and every one of you.

Special thanks to: Ada's Funeral Home & Crematorium, Father Nino Caminiti-San Juan Bautista Church, Toto Choir & Chode's Catering

Un Dangkulu Na Si Yu'os Ma'asi  
Ginen I Familia



**GHURA**  
Guam Housing and Urban Renewal Authority  
Aturidat Ginima' Yan Rinueban Siudad Guahan  
117 Bien Venida Avenue, Sinajana, GU 96910  
Phone: (671) 477-9851 · Fax: (671) 300-7565 · TTY: (671) 472-3701  
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Watch Youtube Live Stream: <https://www.youtube.com/channel/UC1LT40uuVrG08K7vSo7yYA>

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This advertisement was paid for by GHURA



**BOARD OF COMMISSIONERS  
REGULAR SCHEDULED MEETING  
12:00 P.M., April 8, 2022  
GHURA's Main Office (via Zoom)  
1<sup>st</sup> floor, Conference Room, Sinajana  
AGENDA**

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**I. ROLL CALL**

After notice was duly given, pursuant to the Open Government Law of Guam and the Bylaws of the Authority, the Board of Commissioners' regularly scheduled board meeting was called to order at **12:00 P.M. Friday, April 8, 2022** at the GHURA Sinajana Main Office, 1st floor Conference room, by Chairman Rivera. He indicated that 6 members of the Board of Commissioners were present, representing a quorum and that the meeting would proceed as scheduled.

<p><b>PRESENT: (In person)</b></p> <p>Dr. John Rivera, <b>Chairman</b>          Monica Guzman, <b>Vice Chairwoman</b>          Frank Ishizaki, <b>Commissioner</b>          Anisia Delia, <b>Commissioner</b>          Nate Sanchez, <b>Commissioner</b>          Emilia Rice, <b>Commissioner</b>          Karl Corpus, <b>Resident Commissioner</b></p> <p><b>ABSENT:</b></p> <p><b>LEGAL COUNSEL:</b>          Anthony Perez, Esq.</p>	<p><b>MANAGEMENT &amp; STAFF:</b></p> <p>Elizabeth Napoli, <b>Executive Director (Acting)</b>          Audrey Aguon, <b>Deputy Director (Acting)</b>          Sonny Perez, <b>A/E Manager</b>          Katherine Taitano, <b>CD Chief Planner</b>          Kim Bersamin, <b>HR Administrator</b>          Greta Balmeo, <b>Buyer II Supervisor</b></p> <p><b>PUBLIC:</b></p> <p>Audrey Topasna          Ashley Topasna          Nathan Topasna          Ryan Topasna          Reed Topasna</p>
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**II. BOARD MEETING PUBLIC ANNOUNCEMENTS**

**1<sup>st</sup> Printing – Friday, April 1, 2022**  
**2<sup>nd</sup> Printing – Wednesday, April 6, 2022**  
**ACKNOWLEDGED by the board.**

### **III. APPROVAL OF PREVIOUS BOARD MINUTES – March 11, 2022**

**[025/22] Vice Chairwoman Guzman moved to approve the minutes of the March 11, 2022 BOC meeting. Commissioner Corpus seconded the motion. There were no objections by the other board members. Motion passed.**

### **IV. NEW BUSINESS**

- 1. Resolution No. FY2022-00-** Resolution in Honor of Ray S. Topasna, GHURA Executive Director.

**[026/22] Chairman Rivera read the following Resolution:**

- On Feb. 20, 2022, the Guam Housing and Urban Renewal Authority mourned the loss of its Executive Director, Ray S. Topasna.
- GHURA wished to pay tribute to Executive Director Ray S. Topasna who served in the capacity of Executive Director of GHURA from January 2019- February 2022.
- GHURA recognized Ray S. Topasna's achievements and contributions.
- Director Topasna exemplified and maintained a high standard of professionalism.
- Director Topasna's passing meant the loss of a great leader and advocate for the employees of GHURA.
- Director Ray demonstrated his support of pro-employee actions that he undertook during his tenure.
- Director Ray oversaw the completion of housing and community development activities.
- Director Ray was proud to lead GHURA, and its staff and management to the next level.
- The Board of Commissioners, on behalf of the GHURA staff and management, pay tributed to Executive Director Ray S. Topasna, who dedicated his last years of government service to the success of this agency and its employees.
- Director Ray's wisdom and support will truly be missed.
- Chairman Rivera requested that the board approve this resolution.

**[027/22] Commissioner Sanchez moved to approve the resolution.**

**Commissioner Delia seconded the motion.**

**Vice Chairwoman Guzman added that no words could fully express how deep the loss is for the agency.**

**There were no objections by the other board members. The motion passed.**

On behalf of the Guam Housing and Urban Renewal Authority, Acting Executive Director Napoli presented Mrs. Audrey Topasna, wife of Ray S. Topasna, and family with a Distinguished Service Contribution and Dedication plaque for the late Executive Director Ray S. Topasna.

Chairman Rivera added that he would like to contribute to Director Topasna's legacy and donate his board stipend towards a scholarship in his name. He indicated that later discussions would identify specific parameters of the scholarship and who would benefit from it.

The board and GHURA management expressed their deepest condolences to the family of the late Executive Director Ray S. Topasna.

**2. Intent of Award-** Renovation of (7) Seven Public Housing Units;  
IFB#GHURA-01-27-2022-AMPs 1,2,3&4

**[028/22] Acting Director Napoli stated the following:**

- Bid opening for the project was held on March 3, 2022 at 2PM.
- There was a total of (5) contractors that purchased bid specification packets. (5) contractors submitted a bid:
  1. Genesis Tech Corp.-submitted a bid for Base Bid #1 at \$93,300. Bid Bond none submitted.
  2. O.H. Construction- submitted for Base Bid #1 at \$109,000 and Base Bid #2 at \$88,500. Bid bond 15%
  3. Asia Pacific Int'l- submitted for Base Bid #1 at \$118,160 and Base Bid #2 \$116,235. Bid bond 15%
  4. IAN Corp.- submitted Base bid #1 at \$218,974.72 and Base Bid #2 at 239,550.18. Bid Bond 5%
  5. Surface Solutions- submitted Base Bid #1-132,008.04 and Base Bid #2 at 109,726.56. Bid Bond 15%
- The Government estimate for Base Bid #1 was \$106,452.52 and for Base Bid #2, \$98,000.
- Base Bid #1 was to renovate a total of (3) units; (1) in Asan and (2) in Toto Gardens.
- Base Bid #2 was to renovate a total of (4) units; (3) in Inalahan and (1) in Merizo.
- A detailed scope of work for the modernization of the units was included in the bid documents for review.



- Bid Review Results- O.H. Construction provided the lowest responsive and responsible bid for Base Bid #1 at \$109,000 and Base Bid #2 at \$88,500. O.H. Construction has been cleared by DOL compliance, OSHA and EPLS Debarred list.
- Based on A/E staff's review and determination, GHURA requested approval to issue contracts to O.H. Construction for Base Bid #1 and Base Bid #2 in the amount of \$197,500. Funding is available under CAP funds.
- GHURA did not receive the required bid bond from Genesis-Tech and IAN Corp., submission did not meet the required bid bond amount.

Vice Chairwoman Guzman inquired about whether the board had approved an exterior and interior door replacements contract a couple of months ago. Commissioner Delia added that that approval was for units in different villages. Commissioner Sanchez added that the initial approval was not generalized across the board. Attorney Perez stated that he did not recall the door replacement contract being for all public housing units.

There were no further discussions.

**[029/22] Commissioner Delia moved to approve the Intent of Award Renovation of (7) public housing units, IFB GHURA-01-27-2022 for AMPs 1, 2, 3, and 4 to O.H. Construction for Base Bid #1 and Base Bid #2 in the amount of \$197, 500.00. Commissioner Sanchez seconded the motion. There were no objections from the other board members. The motion passed.**

### **3. Change Order for the Women's Treatment Center**

**[030/22] Mr. Sonny Perez, A/E Manager, stated the following:**

- The first (2) change orders are only for discussion.
- Inland Builders has prepared the footing and the pouring of the footings for April 16.
- Inland Builders had run into challenges. Mr. Perez presented a timeline:
  1. Building permit was submitted to DPW on February 10.
  2. March 17- government wide shutdown occurred while building permit was still in circulation.
  3. It took 1 year for building permit approval. It was approved in 2021.
  4. Ordering Building materials could not be approved until permit was approved.
  5. During that time, Inland Builders had experienced the loss of H2 workers and the increase of building materials.
  6. Project continued and GHURA held a ground breaking ceremony on September 1, 2021.

7. Inland Builders were able to recruit some manpower, but continued to run into building materials cost increases and equipment challenges.

- April 8, 2022- Presented before the board was a change order in the approximate amount of \$200,000. Contractor is still assembling information, which is the reason that this change order is for board discussion.

**4. Change Order for the Sinajana Arts Center**

**[031/22] Mr. Sonny Perez, A/E Manager, stated the following:**

- Sinajana Arts Center is about 85-90% completed.
- Substantial completion around mid-June.
- Possible ribbon cutting scheduled for early July
- Pending ceiling installation.
- Exterior painting had begun.
- Drop ceiling grid had been installed.
- Mayor Hofmann had submitted a request for a change order.
- Contractor had submitted the numbers to GHURA.
- Negotiations are ongoing.
- A walkway extension on the right-hand side, front entrance of the Art Center is a request on the change order. The price difference has almost doubled due to an increase in material costs.
- Pre-COVID cost for gymnasium side walkway was quoted at \$71,000. The Post-COVID cost of an additional 30 feet walkway costs \$150,000. Unfortunately, that price is the current rate.
- The Walkway extension will include nonskid flooring, roof, and posts.

Chairman Rivera inquired about whether this change order will provide functionality and safety for the patrons of the Sinajana Art Center. Mr. Perez confirmed this and indicated that the walkway extension will also provide convenience, accessibility, and protection from inclement weather.

Vice Chairwoman Guzman inquired about whether the 71K that was approved by the board was a part of the existing contract. Mr. Perez confirmed this. Attorney Perez added that the change order would be for approximately \$150,000.

Commissioner Ishizaki inquired about the current rate for construction. Mr. Perez stated that he was informed that what was around \$75 per square foot for a walkway is now approximately \$151 per square foot.

Commissioner Corpus asked if there was another door at the end of the walkway that leads directly into the art center and if there is an entrance there, why wasn't a walkway put there? Mr. Perez indicated that he was not present in the planning.

Vice Chairwoman Guzman inquired if this would impact the June completion date. Mr. Perez stated that it would not, and that the walkway construction would be scheduled after the June completion date. Mr. Perez was informed by Mayor Hofmann that his summer programs will begin in June. Mr. Perez stated that mobilization of the walkway project may begin after the summer program has completed.

Acting Director Napoli indicated to Mr. Perez that HUD may need to approve additional funds for the change order and approval will be dependent upon the availability of funds. Mr. Perez acknowledged this.

There were no further discussions.

**5. Request to Approve Change Order to Contract GHURA-09-26-2017-CDBG InfraTech International LLC to Rehabilitate the Sinajana and Umatac Baseball Fields.**

**[032/22] Mr. Sonny Perez stated the following:**

- The Umatac Baseball field is approximately 95-97% complete.
- Possible ribbon cutting to happen next month.
- February 9- lights were tested and successful
- Reasons for change orders:
  1. Lighting upgrade-upgrade of fixtures on posts
  2. To Add backfill to the field due to the its instability
  3. Infratech was awarded (2) baseball field projects, (1) Sinajana baseball field and (1) Umatac Baseball field. In 2019, the Sinjana Baseball field was permitted and project was completed.
    - ◆ Contractor used the same design for both fields. Site conditions differ for both fields and (2) separate meters were required.
    - ◆ Permit for the Umatac baseball field was not issued and contractor claimed previous management had approved it.
    - ◆ Due to a swale on the Umatac baseball field, the contractor was required by GPA and EPA to use a specific type of system that included a concrete encasement for all wires and conduit wires, otherwise a permit would not be issued.
- Mr. Perez requested the approval of the board for a \$32,000 change order to remain compliant with GPA and EPA.

Commissioner Sanchez inquired about whether GHURA was still contracted with Infratech. Mr. Perez confirmed this. Commissioner Sanchez added that Infratech should have done their due diligence to prevent from having to do all this.

Commissioner Corpus inquired about what the change order entailed. Mr. Perez stated that soil will be dug up around the lights and concrete poured. This will not be done on the field, only around the lights.

Commissioner Sanchez asked about the location of the baseball field. Acting Director Napoli indicated that the field is located just before entering the village, on the right side. Commissioner Sanchez added that during heavy rains, that particular area is susceptible to flooding and wondered if that would pose a future financial problem for GHURA.

Ms. Katherine Taitano, Chief Planner, stated that flooding is a serious consideration every time GHURA goes in for projects. It is also why many times GHURA has not been able to build or to assist when the proposed site was close to the water's edge. If the environmental review of a project determines that it falls within a zone where flood issues are expected, then the project would be required to obtain flood hazard insurance.

Chairman Rivera inquired about whether this change order would be enough to withstand the tests of time. Mr. Perez added that this change order is mainly for the lighting system to bring into compliance with GPA's standards.

Chairman Rivera asked Mr. Perez if this change order was enough to fulfill the electrical requirements. Mr. Perez indicated that without this change order the lights could not be used and GPA would not approve the project to move forward with the occupancy permit.

There were no further discussions.

**[033/22] Commissioner Sanchez moved to approve the \$32,000 change order for the electrical system, GHURA-09-26-2017 CDBG Infratech International LLC, at the Humatak baseball field. Vice Chairwoman Guzman seconded the motion. There were no objections by the other board members. Motion carried.**

## **V. OLD BUSINESS**

### **1. LIHTC 2022 Tax Credit Allocation to Summer Vista I**

**Ms. Katherine Taitano stated that this was a carryover from the prior meeting where counsel was not present. The board questioned whether legal counsel had reviewed the document. She added that she has brought the item back to the board for further questioning.**

- Chairman Rivera reminded the board that a motion regarding the LIHTC 2022 Tax Credit Allocation to Summer Vista I was pending a review and approval from legal counsel. He inquired about whether the document was vetted and approved by legal counsel.**
- Attorney Perez confirmed that review and approval was completed.**
- There were no further discussions by the board members.**

## **VI. GENERAL DISCUSSION / ANNOUNCEMENTS**

- 1. Next proposed scheduled Board Meeting: Friday, May 13<sup>th</sup>, 2022 @ 12:00 p.m. Chairman Rivera requested that the commissioners mark their calendars.**

**[034/22] Acting Director Napoli stated that HUD would like to conduct a training session for the commissioners. She added that HUD needed available dates and times from the commissioners. HUD would then schedule the training times. Commissioners recommended April 28<sup>th</sup> and 29<sup>th</sup> in the morning hours. Ms. Katherine Taitano indicated that she would propose the schedule to HUD and added that HUD would be flexible to meet the needs of the board. She also added that the training would be a mix of Public Health, Public and Indian Housing, CPD Fair Housing, Ethics, and Conflict of Interest.**

**[035/22] Vice Chairwoman Guzman announced that the Women’s Treatment Center and Umatac Baseball Field completion were reported on at the G3 Bi-annual meeting as part of the Prosperous Community Committee report.**

**[036/22] Acting Director Napoli thanked Chairman Rivera and those who were able to attend the Housing Symposium on Tuesday, April 5, 2022. She added that it was a successful event and credited the success of the symposium to the hard work of Chairman Rivera and his MPA students.**

**[037/00] Chairman Rivera stated that all (4) AMPs were inspected this round and all passed HUD’s Real Estate Assessment Center (REAC) Inspection. Although the REAC Inspection is just one of the components of the total score, this was a great win for GHURA. He congratulated the staff and management of AMPS 1, 2, 3, and 4 for passing their inspections.**

**There were no further announcements or discussions. Chairman Rivera asked if there was a motion to enter Executive Session.**

**Commissioners will attend the next scheduled GHURA BOC meeting via:**

<b>Dr. John Rivera, Chairman</b>	<input type="checkbox"/> <b>Video Conference</b>	<input type="checkbox"/> <b>In-person</b>
<b>Monica Guzman, Vice Chairwoman</b>	<input type="checkbox"/> <b>Video Conference</b>	<input type="checkbox"/> <b>In-person</b>
<b>Frank Ishizaki, Commissioner</b>	<input type="checkbox"/> <b>Video Conference</b>	<input type="checkbox"/> <b>In-person</b>
<b>Anisia Delia, Commissioner</b>	<input type="checkbox"/> <b>Video Conference</b>	<input type="checkbox"/> <b>In-person</b>
<b>Nate Sanchez, Commissioner</b>	<input type="checkbox"/> <b>Video Conference</b>	<input type="checkbox"/> <b>In-person</b>
<b>Emilia Rice, Commissioner</b>	<input type="checkbox"/> <b>Video Conference</b>	<input type="checkbox"/> <b>In-person</b>
<b>Karl Corpus, Resident Commissioner</b>	<input type="checkbox"/> <b>Video Conference</b>	<input type="checkbox"/> <b>In-person</b>

**Acknowledged by Chairman Rivera \_\_\_\_\_ Date: \_\_\_\_\_**

## **VII. EXECUTIVE SESSION**

**[038/22] Commissioner Delia moved that the board go into Executive Session. Commissioner Corpus seconded the motion. Chairman Rivera announced that the body will move into executive session.**

## **VIII. ADJOURNMENT**

**[039/22] Commissioner Delia moved to adjourn the GHURA Board meeting. Commissioner Ishizaki seconded the motion. With no objections by the other board members, meeting adjourned at 2:17PM.**

**GUAM HOUSING AND URBAN RENEWAL AUTHORITY  
BOARD OF COMMISSIONERS**

**RESOLUTION NO. FY2022-009**

**Moved by:** \_\_\_\_\_ **Seconded by:** \_\_\_\_\_

**RESOLUTION APPROVING ABOVE-STEP RECRUITMENT FOR THE GENERAL  
ACCOUNTING SUPERVISOR POSITION (RPE Division)**

**WHEREAS,** Under the enabling legislation of the Authority, Title 12 §5103 GCA, its Board of Commissioners is empowered “to employ officers, technical experts, agents and employees, permanent and temporary as it may deem necessary; and shall determine their qualifications, duties, tenure and compensation...”; and

**WHEREAS,** Title 4 of the Guam Code Annotated, “...The appointing authority, or the head of an agency, department or public corporation listed in 4 GCA, §4105(a) may petition the Director of Administration, the Judicial Council (as to Judicial Branch employment) or the agency, department or public corporation’s governing board or commission (as to an agency, department or public corporation listed in 4GCA §4105(a)) for recruitment at a higher step not to exceed Step 10, because of documented difficulty or exceptional qualifications.....”; and

**WHEREAS,** Mr. Jerricho C. Garcia submitted his request to Executive Management requesting to petition the GHURA Board of Commissioners for an above the minimum step recruitment for the position of General Accounting Supervisor based on exceptional qualifications; and

**WHEREAS,** the Board has previously approved above step recruitments for Mr. Garcia, however Mr. Garcia was not able to complete his probationary periods as subsequent critical vacancies arose with the Accountant III and now with the untimely passing of the former General Accounting Supervisor; and

**WHEREAS,** Mr. Garcia’s exceptional qualifications for the General Accounting Supervisor position consists of the following:

- Certified Public Accountant (CPA) - August 2020 – Certificate Number#5064.
- Undergraduate degree – Bachelors in Business Administration in Accounting. University of Guam conferred May 2019. Graduated with honors – Magna Cum Laude.
- Masters of Science in Accounting (MSA) – acquired 24 semester hours.
- Over one (1) year and two (2) months of auditing with Deloitte & Touche as an “Associate I” working with over 15 company accounts.
- US Army (Active Duty) – three (3) years as a E-4 but performing E-6 work responsible for the units accounting operations, budgeting and fiscal records.
- Possesses “internal auditing” skills that will help minimize the Authority’s audit findings.

- In just the past six months of Mr. Garcia as the Accountant III level, he implemented new processes to increase efficiency and effectiveness in the Fiscal Division, thus saving substantial number of hours to focus on other tasks.
- Played an integral role with the 2020 audit being submitted in time;
- Performed 88 bank reconciliations to help GHURA become current in their monthly reconciliation process.
- Mr. Garcia has no doubt elevated the level of efficiency and effectiveness of the Fiscal Division.

**WHEREAS,** in addition to the exceptional qualifications that Mr. Garcia possesses, there was recruitment difficulty with this position; and

**WHEREAS,** Management believes the compensation package of salary and benefits (i.e. retirement, holidays, annual/sick leave etc) is competitive with the private sector, considering the immense level of responsibility the General Accounting Supervisor carries for the RPE Division, now respectfully requests an above step recruitment of Mr. Jerricho C. Garcia, **PG4-8(E)**, \$76,401.00 pa; \$36.73 phr; and

**WHEREAS,** the GHURA Board recognizes it has the discretionary authority to go below or beyond management's recommendations (i.e., **PG4-1(B)**, \$48,875.00 p/a; \$23.50 p/hr through **PG4-10(F)**, \$85,844.00 p/a; \$41.27 p/hr - maximum), but supports management's request for the above-step recruitment; and

**WHEREAS,** Funding for this position is available from RPE Funds; and be it further

**RESOLVED,** that in consideration of the applicant's exceptional qualifications and recruitment difficulty with this position, the GHURA Board of Commissioners grants the above-step requirement for:

**Mr. Jerricho C. Garcia, PG4-8(E), \$76,401.00 p/a; \$36.73 p/hr.**

**IN REGULAR BOARD MEETING, SINAJANA, GUAM – MAY 20, 2022  
PASSED BY THE FOLLOWING VOTES:**

**AYES:**

**NAYES:**

**ABSENT:**

**ABSTAINED:**

I hereby certify that the foregoing is a full, true, and correct copy of a Resolution duly adopted by the Guam Housing and Urban Renewal Authority Board of Commissioners on **May 20, 2022.**

**SEAL**

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**Elizabeth F. Napoli  
Secretary / Executive Director (Acting)**



**GUAM HOUSING AND URBAN RENEWAL AUTHORITY  
ATURIDAT GINIMA YAN RINUEBAN SIUDAT**

**MEMORANDUM:**

**TO:** Board of Commissioners

**FROM:** Elizabeth F. Napoli   
Acting Executive Director

**DATE:** May 16, 2022

**SUBJECT:** Intent of Award, Renovation of (6) Six Public Housing Unit's;  
IFB # GHURA-04-14-2022-AMPs 1, 3 & 4

Bid opening for the subject project was held on May 12, 2022 at 2:00pm. There was a total of 3 contractors that purchased a set of bid specifications of which 3 submitted a bid. Listed below are the results of the bids submitted, which were opened and read out aloud.

No:	Contractor:	Bid Bond	Base Bid No. 1	Base Bid No. 2
1	Genesis Tech Corp.	[x] 15%	\$113,000.00	\$110,600.00
2	Surface Solutions	[x] 15%	\$158,046.53	\$130,222.09
3	O.H. Construction	[x] 15%	\$134,000.00	\$125,000.00
<b>Government Estimate</b>			<b>\$124,574.03</b>	<b>\$117,446.00</b>

Base Bid 1 is to renovate a total of 3 units; 2 in Mongmong and 1 in Agat. Base Bid 2 is to renovate a total of 3 units in Toto gardens. Modernization of these units include electrical up-grade, replacement of termite infested kitchen cabinets and base, re-tiling of floors, complete sewer line replacement, interior painting, exterior and interior door replacements and replacement of existing water lines. A detailed scope of work is included in the bid documents for review.

In the review of the bid results: Genesis-Tech Corporation provided the lowest responsive and responsible bid for Base Bid 1 and Base Bid 2. Genesis-Tech Corporation completed several major GHURA projects over the last year with good standing. They also have been cleared by Department of Labor compliance, OSHA and EPLS Debarred list (see attached verification).

Based on A/E staff's review and determination, we are requesting approval to issue the contract to Genesis-Tech Corporation for Base Bid 1 and Base Bid 2 in the amount of \$223,600.00. Funding is available under the Capital Fund Program.

Prepared:   
SPerez, A/E

Reviewed:   
GBalmeo, Procurement

Attachment: Bid Tabulation  
Clearance  
Gov cost estimate



Elizabeth F. Napoli, Acting Executive Director

IFB#GHURA-04-14-2022-AMPs 1.3 & 4; Renovation of Six (6) Public Housing Units  
 Renovation of Six (6) Public Housing Units  
 Proposal due date: May 12, 2022  
 Proposal due time: 2:00 p.m.

Package No	NAME OF BIDDER	Base Bid Item 1	Base Bid Item 2	Bid Bond	Name of Bonding Co. and name	HUD 5369-A	AG Forms 2,3,4,5 & 7	GHURA Form 09	GHURA Form 010	GHURA Form 013	GHURA Form 01B	Contractor License	Addendum
1	GENESIS-TECH CORP.	\$113,000.-	\$110,600.-	\$16,500.-	BOS	✓	✓	✓	✓	✓	✓	✓	✓
2	SWAFACE SOLUTIONS	\$158,046.53	\$130,222.09	15%	1ST NET INS.	✓	✓	✓	✓	✓	✓	✓	✓
3	OH CONSTRUCTION	\$134,000.-	\$125,000.-	15%	1ST NET INS.	✓	✓	✓	✓	✓	✓	✓	✓

ATTESTED BY: Abigail Ramirez 5/12/2022 Date: 5/12/2022

Elizabeth F. Napoli Date: 5/12/2022

**GUAM HOUSING AND URBAN RENEWAL AUTHORITY**  
**ATURIDAT GINIMAYAN RINUEBAN SIUDAT GUAHAN**  
*Verification of Status for Contractors*

To: File  
 From: Architect & Engineering Manager  
 Subject: Renovation of (6) Six Public Housing Unit's;  
 IFB #GHURA-04-14-2022-AMPs 1, 3 & 4;

In Order to ensure that the contractor awarded does not have any outstanding claims against them, we requested that the listed government Agencies provide us with a current standing or any information which may be pertinent to the above contract. The following outlines the contractor's standings with the listed agencies.

Company Name	Genesis-Tech Corporation	O.H. Construction	Surface Solutions
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**Department of Labor:**

ALPCD	5/16/2022	5/16/2022	5/16/2022
Fair Employment Practice	5/16/2022	5/16/2022	5/16/2022
Wage & Hour	5/16/2022	5/16/2022	5/16/2022
Workers Compensation	Exp. 06/30/2022	Exp. 09/08/2022	Exp. 06/08/2022

**Guam Contractors License Board**

Contractor to obtain clearance from Guam Contractors License Board

**U.S. Department of Labor**

5/16/2022	5/16/2022	5/16/2022
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**Revenue & Tax EIN/SSN**

Contractor to report to Revenue and Tax Office

**OSHA**

5/16/2022	5/16/2022	5/16/2022
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**SAM Debarred List**

5/16/2022	5/16/2022	5/16/2022
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 Stubby P. Pérez

**GHURA-04-14-2022-AMPs 1, 3 & 4;**

ESTIMATED BY  
Andrew M. Manglona, Planner III

DATE PREPARED  
5/12/2022

**BASIC BID #1**

LOCATION	Unit Number	Bedrm.	Estimate Cost
Amp-1, gh-250, MONGMONG	2A TEM	2	\$ 47,296.15
Amp-1, gh-250, Toto	2B TEM	2	\$ 33,736.15
Amp-4, gh-99, Agat	87 MAO	3	\$ 43,541.73
	Total		\$ 124,574.03

**BASIC BID #2**

LOCATION	Unit Number	Bedrm.	Quantity
Amp-4 , gh-250, TOTO	13B DAM	4	\$ 36,968.00
Amp-4 , gh-250, TOTO	16A DAM	4	\$ 36,968.00
Amp-4 , gh-250, TOTO	29B DAM	5	\$ 43,510.00
	Total		\$ 117,446.00

# COST ESTIMATE

ACTIVITY AND LOCATION 4 bedroom	CONSTRUCTION CONTRACT NO	SHEET 1 OF 1
PROJECT TITLE:reno-4brdm	IDENTIFICATION NO	
ESTIMATED BY Andrew M. Mangiona, Planner III	DATE PREPARED 5/12/2022	

ITEM DESCRIPTION	QUANTITY		UNIT	ENGINEERING ESTIMATE		TOTAL
	NUMBER			UNIT COST		
Termite treatment	1200		sf	\$0.60	\$	720.00
Interior Painting	2400		sf	1.50	\$	3,600.00
exterior entry & exit doors	2		ea	1,700.00	\$	3,400.00
exterior storge & WH doors	3		ea	1,200.00	\$	3,600.00
interior bedroom doors	4		ea	750.00	\$	3,000.00
interior bathroom & hallway doors	3		ea	550.00	\$	1,650.00
screen panels (repair)	4		ea	150.00	\$	600.00
Kitchen up grade	1		ea	4,200.00	\$	4,200.00
remove old tiles & dispose	1200		sf	1.20	\$	1,440.00
install vinyl floor tiles	1200		sf	2.75	\$	3,300.00
bathroom up grade	1		ls	1,600.00	\$	1,600.00
lighting fixtures	12		ea	125.00	\$	1,500.00
Change out medicine cabinet	2		ea	125.00	\$	250.00
New range hood	1		ea	120.00	\$	120.00
smoke detector	5		ea	220.00	\$	1,100.00
replace light switch & outlets	12		ea	65.00	\$	780.00
exterior works	1		ls	1,200.00	\$	1,200.00
General cleaning-in & out	1		LS	650.00	\$	650.00
total				\$	\$	32,710.00
					\$	8,177.50
					\$	Estimate cost per Bedroom
Up-grade electrical panel box	1		LS	5,500.00	\$	5,500.00
Sewer replacement	1		LS	8,000.00	\$	8,000.00
Sewer replacement	1		LS	8,000.00	\$	8,000.00
Sewer replacement	1		LS	12,000.00	\$	12,000.00
Sewer replacement	1		LS	12,000.00	\$	12,000.00
Up-grade kitchen cabint replacement	1		LS	5,800.00	\$	5,800.00

UNIT COST BASED ON PREVIOUS MOD PROJECTS

May 18, 2022

To: Board of Commissioners  
From: Acting Executive Director, Elizabeth F. Napoli   
Subject: Change Order #1 to GHURA – 09-26-2019 – CDBG: Lighthouse Recovery Center for Women, Tiyan, Guam

This is a request to approve the change order for the subject project:

**Background**

The Lighthouse Recovery Center for Women (LRCW) facility project was awarded to Inland Builders in January 2, 2020. Governor Leon Guerrero shutdown all government operations on March 17, 2020, due to the COVID-19 pandemic. GHURA worked and supported Inland Builders to continue the LRCW facility construction. The LRCW building permit was fully approved May 11, 2021, and GHURA held a groundbreaking ceremony July 10, 2021. Inland Builders fully mobilized to the worksite September 1, 2021, but encountered availability challenges to manpower, materials, and equipment.

**Analysis**

Change order #1 consists of material and labor increases in the mechanical, electrical, plumbing, communications, and site works. The percent increase per division is below:

Division	Old Value	New/Updated Value	Difference (% increase)
Mechanical Works	\$388,374	\$454,644	\$66,270 (17%)
Electrical Works	\$261,628	\$322,564	\$60,936 (23%)
Site Works	\$105,152	\$150,827	\$45,675 (43%)

**Site Works:** Actual site conditions required additional fill and grading for storm water mitigation, drainage and to prevent site flooding during heavy rains.

**Recommendation**

Inland Builders submitted supporting documents, quotations, and acceptable rationales for the change order. A/E supports the proposal and recommends its approval. The total change order request for the three divisions and OHP: **\$217,660.00**

GHURA LIGHTHOUSE PROJECT: CHANGE ORDERS FOR SUBCONTRACTED WORKS (MEP, SITEWORKS)				
		IBC direct & subcon price	New Subcon Price	VARIANCE
<b>A</b>	<b>MECHANICAL WORKS</b>			
1	FIRE SUPPRESSION	97,167		-97,167
a	Materials		79,190	79,190
b	Labor		42,820	42,820
2	PLUMBING	157,933	177,598	19,665
3	HVAC	133,274	155,036	21,762
<b>Subtotal A Mechanical</b>		<b>388,374</b>	<b>454,644</b>	<b>66,270</b>
<b>B</b>	<b>ELECTRICAL WORKS</b>			
1	ELECTRICAL	212,460	252,894	40,434
2	COMMUNICATIONS	23,028	33,058	10,030
3	FDAS	26,140		-26,140
	Material - System		16,440	16,440
	Material - Rough in		4,158	4,158
	Labor		16,014	16,014
<b>Subtotal B Electrical</b>		<b>261,628</b>	<b>322,564</b>	<b>60,936</b>
<b>C</b>	<b>SITE WORKS</b>			
1	WATERLINE, SEWER	22,775	68,450	45,675
2	REMAINING SITE WORKS BY IBC	82,377	82,377	0
<b>Total C Site Works</b>		<b>105,152</b>	<b>150,827</b>	<b>45,675</b>
<b>TOTAL A+B+C</b>		<b>755,154</b>	<b>928,035</b>	<b>172,881</b>
Subcontractor				
	Guam Advance Ent., Inc.	overhead	0.08	13,831
	Falcon Fire Protection Services			186,712
	BMA Services	IBC fee	0.08	14,937
				201,649
		bond	0.028	5,646
				207,295
		GRT	0.05	10,365
				217,660
				1.259012

- **Change Order summary for MEP and Siteworks**

Amounts highlighted in yellow represent the subcontractor prices used for the bid, which were obtained from Guam Advance Enterprises which is attached below. The amounts highlighted in green are the current prices submitted by Guam Advance, also attached below. Guam Advance could no longer re-quote on the materials for Fire Suppression and for Fire Department Alarm System (FDAS) so we solicited material prices from Falcon Fire whose final quote will be forthcoming.

The \$72,770 for Fire Suppression materials was received from Falcon Fire but is still missing some items so we are waiting for the revised quote from them. I believe the \$13,440 for FDAS system (not including rough in) is complete but waiting for confirmation from them.

The \$68,450 amount highlighted in purple represent the current price for Site Utility Piping works received from BMA services which is also attached. Please be advised that we originally planned to perform all site works in house but now because of lack of skilled manpower we needed to outsource certain respective work scopes. The other remaining site works priced at \$82,377 which we still plan to perform ourselves is only shown to indicate we are only outsourcing those work scopes that require skilled plumbing works.

- **Bid Price Guam Advance Ent. for MEP**

Please note that Guam Advance's original quote dated 11/13/19 was for \$680,074.79, and was then discounted to \$650,000 so I attached a breakdown into the respective MEP work items by pro-rating the lump sum discount. The revised MEP work prices after the discount are highlighted in yellow to correspond with our bid prices as shown in the CO summary above.

- **Current price Guam Advance Ent. For MEP**

This is the current proposal for Guam Advance. I have highlighted them in green to correspond with the new prices as shown in the CO summary above. As stated previously Guam Advance can no longer quote on the materials for Fire Suppression and FDAS which they indicated on the proposal. All other works not included will be part of Falcon Fire's subsequent quote or will be performed by Inland.

- **Current price BMA for various siteworks**

This is the current proposal for BMA for various site utility piping works as referenced by drawing C-4 of the Project Contract Drawings. The breakdown of these works is on the last page in BMA's proposal. We can provide our respective estimate for these works which was used in the bid upon request. The lumpsum price of \$68,450 on the 3<sup>rd</sup> page of their proposal is



highlighted in purple to correspond with the new price of the CO summary above.

Please let me know if you have any questions. I am pushing Falcon Fire to provide us the final quote on the Fire Suppression materials asap so you can have all supporting documentation to be submitted for your board meeting this Friday. I am still gathering the documentation for the various material change increases (structural and architectural) and will try to submit for your review by the end of this month.

Francis Tan

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**From:** Mike Lee <mhlee@guamadvance.com>  
**Sent:** Thursday, November 14, 2019 9:50 AM  
**To:** 'Allan M. Basino'  
**Cc:** 'nelson del carmen'; 'Francis Tan'; 'Francis Tan'; 'Reynald Del Carmen'  
**Subject:** RE: LRCF/ MEP PROPOSAL/ Comments  
**Attachments:** LRCFW-MEP-Price Sum-191113R.pdf

Dear Allan,

Thank you very much for the inquiry by phone.

As we discussed, we submit the final price as enclosed. The terms and conditions will remain the same.

Sincerely,  
Mike Lee

---

**From:** Allan M. Basino <amb0806@guam.net>  
**Sent:** Thursday, November 14, 2019 9:23 AM  
**To:** mhlee@guamadvance.com  
**Cc:** nelson del carmen <nelson@inland.com.gu>; 'Francis Tan' <ibctan@inland.com.gu>; 'Francis Tan' <ibctan@gmail.com>; 'Reynald Del Carmen' <rey@inland.com.gu>  
**Subject:** LRCF/ MEP PROPOSAL/ Comments

Hi Mike!

Please confirm the comments on this Bid breakdown.

Regards,

*Ambasiño*  
**Inland Builders Corporation**  
(T) 671-646-5606  
(F) 671-646-5929  
(M) 671-864-2593

Bid Price Summary  
 Lighthouse Recovery Center For Women  
 Tiyan Guam

No	Description	Unit	Qty	Amount	Remarks
<b>Mechanical Work</b>					
1	Fire Fighting	LS	1	101,663	
2	Plumbing	LS	1	165,240	
3	HVAC	LS	1	139,440	
<b>Total Mechanical Work</b>				<b>\$ 406,343</b>	
<b>Electrical Work</b>					
	Electrical	LS	1	222,290.15	
	Communications	LS	1	24,093.06	
	FDAS	LS	1	27,348.63	
<b>Total Electrical Work</b>				<b>\$ 273,732</b>	
<b>Total Eletrical and Mechanical Works</b>				<b>\$ 680,074.79</b>	
<b>Discounted</b>				<b>30,074.79</b>	
<b>Final Proposed Amount</b>				<b>\$ 650,000.00</b>	

	original	discount	revised
<b>Guam Advance Ent bid quotations</b>			
<b>A</b>	<b>MECHANICAL WORK</b>		
	101,663	4,496	97,167
	165,240	7,307	157,933
	139,440	6,166	133,274
<b>Subtotal A</b>	<b>406,343</b>	<b>17,970</b>	<b>388,373</b>
<b>B</b>	<b>ELECTRICAL WORK</b>		
	222,290	9,830	212,460
	24,093	1,065	23,028
	27,349	1,209	26,140
<b>Subtotal B</b>	<b>273,732</b>	<b>12,105</b>	<b>261,627</b>
<b>Total A + B</b>	<b>680,075</b>	<b>30,075</b>	<b>650,000</b>
discount	30,075	0.04422306	

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**Guam Advance Enterprises, Inc.**



P.O. Box 12249  
316 W. Harmon Industrial Park, Tamuning Guam 96913 U.S.A  
Web Site: [www.guamadvance.com](http://www.guamadvance.com)  
Tel: (671) 649-0001/2 Fax: (671) 649-0003

November 13, 2019

Our Ref: LRCFW-Proposal-19113

Mr. Nelson Del Carmen / President  
Inland Builders Corporation  
PO Box 2767 Hagatna  
Guam 96932

Subject: Cost Proposal for Electrical Works and Mechanical Works  
Lighthouse Recovery Center for Women

Dear Mr. Carmen:

We are pleased to submit our cost proposal for the Electrical and Mechanical Works for Lighthouse Recovery Center for Women Project as follows:

**Total: US 680,074.79**

The cost proposal is prepared based on the project drawings and terms attached.

Thank you very much for giving us a chance to submit the cost proposal for this valuable project.

If you have any question, please feel free to ask us.

Sincerely,

A handwritten signature in cursive script that reads "Mike Lee".

Mike Lee  
President

Enclosed: Bid Price Summary      1 Sheet  
              Terms and Conditions    1 Sheet

Bid Price Summary  
 Lighthouse Recovery Center For Women  
 Tiyan Guam

No	Description	Unit	Qty	Amount	Remarks
	Mechanical Work				
1	Fire Fighting	LS	1	101,663	
2	Plumbing	LS	1	165,240	
3	HVAC	LS	1	139,440	
	Total Mechanical Work			\$ 406,343	
	Electrical Work				
	Electrical	LS	1	222,290.15	
	Communications	LS	1	24,093.06	
	FDAS	LS	1	27,348.63	
	Total Electrical Work			\$ 273,732	
	Total MEP Work			\$ 680,074.79	

**TERMS & CONDITIONS - Electrical and Mechanical Works**  
**LIGHTHOUSE RECOVERY CENTER FOR WOMEN**  
 TIYAN, GUAM

1.0 Cost proposal is based on issued tender documents.

A. Drawing

✓ HVAC	✓ Plumbing	✓ Fire Protection	Elec	✓ FA
M1-0	P1-1	F1-1	E-1-0	FA-1-1
M2-1	P2-0	F2-1	E-1-1	FA-2-1
M2-2	P2-1	F2-2	E-1-2	FA-2-2
M3-1	P2-2	F2-3	E-2-0	FA-2-3
M3-2	P2-3	F4-1	E-2-1	FA-3-1
M4-1	P2-4	F6-1	E-2-2	FA-3-2
M4-2	P3-1		E-3-1	
M4-3	P4-0		E-3-2	
M5-1	P4-1		E-4-1	
M5-2			E-4-2	
			E-5-1	
			E-5-2	
			E-6-1	
			E-7-1	
			E-7-2	
			E-8-1,	
			E-8-2	
			E-8-3	

2.0 Supply of materials, labor, tools, equipment, and consumables for the following works is included:

- HVAC
- Plumbing
- Fire Protection
- Electrical
- Communications
- Fire Alarm

3.0 The following are excluded in the proposal :

- All required fees and permits to government agencies and owner.
- Third Party Inspection if required
- Construction of Temporary utilities for construction use, such as power, water, telephone, etc.
- Temporary utility fees for construction use, such as fees for power and water
- Temporary AC equipment to prevent constructed areas from deteriorating, if required.
- Civil or architectural work, if required.
  - Excavation, Backfill
  - Concrete pad for equipment
  - Manhole and Handhole
  - Lighting pole foundation, and concrete bases for concrete poles
  - Bollard
  - Civil or architectural restoration work
- Surveying Work
- Exterior Piping beyond 5 feet from the building wall for the utility pipes.
- Storm Drain Piping
- Architectural wall louver
- Exhaust and intake air louver in Generator room
- Fire Water Tank and Alarm Level Control System
- Water Tank

---

**Guam Advance Enterprises, Inc.**



P.O. Box 12249  
316 W. Harmon Industrial Park, Tamuning Guam 96913 U.S.A  
Web Site: [www.guamadvance.com](http://www.guamadvance.com)  
Tel: (671) 649-0001/2 Fax: (671) 649-0003

November 1, 2021

Our Ref: LRCFW-Proposal-2021

Mr. Nelson Del Carmen / President  
Inland Builders Corporation  
PO Box 2767 Hagatna  
Guam 96932

Subject: Cost Proposal for Electrical Works and Mechanical Works  
Lighthouse Recovery Center for Women

Dear Mr. Carmen:

We are pleased to submit our cost proposal for the Electrical and Mechanical Works for Lighthouse Recovery Center for Women Project as follows:

**Total: US 681,578.00**

The cost proposal is prepared based on the project drawings and terms attached.

Thank you very much for giving us a chance to submit the cost proposal for this valuable project.

If you have any question, please feel free to ask us.

Sincerely,



Mike Lee  
President

Enclosed: Bid Price Summary 1 Sheet  
Terms and Conditions 1 Sheet

Bid Price Summary  
 Lighthouse Recovery Center For Women  
 Tiyan Guam

No	Description	Unit	Qty	Amount	Remarks
	Mechanical Work				
1	Fire Fighting				
	Material				Not Included
	Labor	LS	1	42,820.00	
2	Plumbing	LS	1	177,598.00	
3	HVAC	LS	1	155,036.00	
	Total Mechanical Work			375,454.00	
	Electrical Work				
4	Electrical	LS	1	252,894.00	
5	Communications	LS	1	33,058.00	
6	FDAS				
	Material - System				Not Included
	Test & Commissioning				Not Included
	Material - Rough-in	LS	1	4,158.00	
	Labor	LS	1	16,014.00	
	Total Electrical Work			306,124.00	
	<b>Total Eletrical and Mechnical Works</b>			<b>681,578.00</b>	

The following works are not included

Supply of sprinkler system materials, such as pipe, fittings, hangers, pumps, etc.

Design of sprinkler system and approval of Fire Department

Shopdrawing

Test and commissioning

Supply of Fire System, such as control panel, devices, etc.

Shopdrawing

Termination

Test and commissioning



**TERMS & CONDITIONS - Electrical and Mechanical Works**  
**LIGHTHOUSE RECOVERY CENTER FOR WOMEN**  
 TIYAN, GUAM

1.0 Cost proposal is based on issued tender documents.

A. Drawing

HVAC	Plumbing	Fire Protection	Elec	FA
M1-0	P1-1	F1-1	E-1-0	FA-1-1
M2-1	P2-0	F2-1	E-1-1	FA-2-1
M2-2	P2-1	F2-2	E-1-2	FA-2-2
M3-1	P2-2	F2-3	E-2-0	FA-2-3
M3-2	P2-3	F4-1	E-2-1	FA-3-1
M4-1	P2-4	F6-1	E-2-2	FA-3-2
M4-2	P3-1		E-3-1	
M4-3	P4-0		E-3-2	
M5-1	P4-1		E-4-1	
M5-2			E-4-2	
			E-5-1	
			E-5-2	
			E-6-1	
			E-7-1	
			E-7-2	
			E-8-1,	
			E-8-2	
			E-8-3	

2.0 Supply of materials, labor, tools, equipment, and consumables for the following works is included:

- HVAC
- Plumbing
- Fire Protection: Labor Only
- Electrical
- Communications
- Fire Alarm: Labor only

3.0 The following are excluded in the proposal :

- All required fees and permits to government agencies and owner.
- Third Party Inspection if required
- Construction of Temporary utilities for construction use, such as power, water, telephone, etc.
- Temporary utility fees for construction use, such as fees for power and water
- Temporary AC equipment to prevent constructed areas from deteriorating, if required.
- Civil or architectural work, if required.
  - Excavation, Backfill
  - Concrete pad for equipment
  - Manhole and Handhole
  - Lighting pole foundation, and concrete bases for concrete poles.
  - Bollard
  - Civil or architectural restoration work
- Surveying Work
- Exterior Piping beyond 5 feet from the building wall for the utility pipes.
- Storm Drain Piping
- Architectural wall louver
- Exhaust and intake air louver in Generator room
- Fire Water Tank and Alarm Level Control System
- Water Tank

# Falcon Fire Protection LLC



P.O. Box 326326 Hagatna, Guam 96932  
Tel: (671) 648-3473 · Fax: (671) 648-3472  
License No.: CLB08-0377 C19 & C20

February 8, 2022

Inland Builders Corp

Tel: (671)6465606)

Attn: Nelson

Re: Lighthouse Recovery Fire Protection Systems.

Provided for your review is our revised proposal to supply the fire sprinkler and fire alarm system for the location listed above. Please note that this proposal is based on the plans received, and any changes made herein may result in a change of our proposal price.

## WET FIRE SPRINKLER SYSTEM

### Inclusions:

1. Design of system by Fire Protection Engineer.
2. Supply and fabrication of all required fire sprinkler equipment to include fire pumps and controllers. Installation to start 0'-6" above finished floor in both buildings.
3. Testing of system upon completion of installation by others.
4. Certification of system upon satisfactory testing.
5. Testing with the Authority Having Jurisdiction.
6. Surface freight to Guam.
7. One-year warranty on equipment.
8. Safety and good housekeeping.

### Exclusions:

1. Quality Control Fire Protection Engineer works of any kind.
2. Installation or demolition of any kind.
3. Electrical works of any kind.
4. Fire Alarm works of any kind.
5. Painting of pipe.
6. Supply or installation of underground equipment, fire hose cabinets, remote fire department connections, tanks or tank fittings.

Our price for this proposal is \$75,770.00.

+ \$3,420.00

(KITCHEN HOOD  
FIRE SUPPRESSION)

$$= \$79,190.00$$

## FIRE ALARM SYSTEM

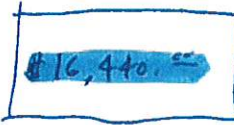
### Inclusions:

1. Design of system to include battery calculations.
2. Supply of all required all materials.
3. Programming upon completion of installation by others.
4. Testing upon completion of programming.
5. Certification of system after satisfactory testing.
6. One-year warranty on equipment.
7. Safety and good housekeeping.

**Exclusions:**

1. Additional materials labor not specified.
2. Installation of any equipment.
3. Supply of emt conduit, junction boxes or wire.

Our price for this proposal is \$15,440.00. Please add \$1,000.00 to supply the wire.

⇒ 

**Kitchen Hood Fire Suppression System**

**Inclusions:**

1. Supply of all require equipment for fire suppression system.
2. Installation of all equipment. Emergency gas shut of valve supplied by Falcon Fire Protection but installed by Gas Company.
3. Testing upon completion.
4. Certification of system upon satisfactory testing.
5. Testing with Authority Having Jurisdiction.
6. One-year warranty on equipment.
7. Safety and good housekeeping.

**Exclusions:**

1. Shunt Trip materials or installation if required.
2. Supply or installation of hood, exhaust duct or exhaust fan.
3. Electrical works of any kind.

Our price for this proposal is \$3,200.00. Please add \$220.00 to supply One (1) "K" Class Fire Extinguisher.

**Terms:** Contract in the complete amount before commencement of work or ordering of materials will installment payments made monthly until completion. Design will take approximately 30 days. Materials will be on Island 45 to 50 days after receipt of approved drawings.

Thank you for allowing us to provide this proposal to you. If you should require additional information or further clarification, please feel free to contact us at the numbers provided. This proposal is valid for thirty days.

Regards,

**JOHN ROBISON**

# PROPOSAL FOR LIGHTHOUSE RECOVERY CENTER FOR WOMEN



Prepared for:  
NELSON DEL CARMEN  
FRANCIS TAN  
Inland Builders Corporation

Prepared by  
**Bartolome Abuan**  
**Moses Lorica**  
**BMA Services**

618W Route 8  
Suite 104  
Barrigada Guam, 96913-2033

Tel: (671)482-9296  
Office Tel: (671)734-4557  
Fax: (671)734-4558  
bart.abuan@bmaservicesgu.com

Submitted on  
January 21, 2022

## **Statement of Confidentiality & Non-Disclosure**

This document contains proprietary and confidential information. All data submitted to IBC is provided in reliance upon its consent not to use or disclose any information contained herein except in the context of its business dealings with BMA Services. The recipient of this document agrees to inform present and future employees of IBC who view or have access to its content of its confidential nature.

The recipient agrees to instruct each employee that they must not disclose any information concerning this document to others except to the extent that such matters are generally known to, and are available for use by, the public. The recipient also agrees not to duplicate or distribute or permit others to duplicate or distribute any material contained herein without BMA Service's express written consent.

BMA Service retains all title, ownership and intellectual property rights to the material and trademarks contained herein, including all supporting documentation, files, marketing material, and multimedia.

**BY ACCEPTANCE OF THIS DOCUMENT, THE RECIPIENT AGREES TO BE BOUND BY THE AFOREMENTIONED STATEMENT.**

## Company Background

Founded in December 30, 2014 by Bartolome Abuan. Our professionalism is known for promptness and proficiency. We have been quite successful in HVAC, Mechanical and notably in Andersen AAFB, Naval Station and off base Commercial projects.

BMA Services serves over 100+ customers in Guam and employees of 63 people with no Safety mishap for over 5 years since initial date.

### Mission Statement:

The company's mission is to provide professionalism, respect, integrity and all you can do to satisfy our valued customer. We serve to assure clientele are satisfied on each project regardless of size or difficulties.

### Cost Breakdown

Based on our analysis of your needs and the nature our proposed solution, the total funds required are estimated at \$ 68,450.00 The cost breakdown is detailed in the table below.

Cost Element	Amount
Site Utility Piping Works (Materials and Labor)	\$ 68,450.00
<b>TOTAL BID COST (Materials and Labor)</b>	<b>\$ 68,450.00</b>

### Payment Terms

All equipment, production and general costs, and man-hours used to complete this project will be billed. This proposal provides an estimate of total costs. All amounts exceeding this quotation are subject to the approval of IBC

Payments shall be made 30 DAYS AFTER RECEIPT OF INVOICE. An initial amount of \$100,000 is required to start the project mobilization. All late payments are subject to a 1.5% MONTHLY charge or the maximum permitted by law.

Payment must be remitted by CASH, BANK WIRE, CERTIFIED CHECK and must be made payable to BMA Services

**Guarantees**

BMA Services shall offer the following guarantees:

- Complete LIGHTHOUSE RECOVERY CENTER FOR WOMEN PROJECT as per Schedule

BMA Services is confident that our proposal will benefit IBC from our expertise in completing this project. We sincerely hope that IBC will consider us as a long-term partner and allow us to enter into a mutually beneficial relationship. We are available to answer any questions you may have and look forward to discussing this opportunity further.

After reviewing this document, the following steps should be performed in order to come to a final agreement.

- Submission of questions/suggestions
- Counter proposal or approval by IBC
- Negotiation of fees, terms, clauses and conditions

We declare this offer to be binding and free of errors or omissions. Due diligence has been performed in order to ensure compliance with your requirements and particular situation. We agree to hold our proposal open for acceptance until March 15, 2022

Thank you for your interest.

Sincerely,



Bartolome E. Abuan  
Owner, Gen. Manager  
BMA Services

PROJECT: LIGHTHOUSE RECOVERY CENTER FOR WOMEN  
SUBJECT : COST BREAKDOWN  
SUBCON: BMA SEVICES

Site Utility Piping (C-4 Drawing)	QTY	UOM	Material		Labor	
			Unit	Total	Unit	Total
8" SDR Pipe U/G Sewer Line Pies and Fittings	1	lot	\$10,500.00	\$10,500.00	\$7,500.00	\$7,500.00
Backhoe Rental for Connecting 8" SDR pipe	1	lot	Excluded, By Others			
Labor for Base Compaction	1	lot	\$0.00	\$0.00	\$1,500.00	\$1,500.00
SDR Pipe Connection to Manhole	1	lot	\$2,500.00	\$2,500.00	\$1,500.00	\$1,500.00
Grease Interceptor Piping and Fittings	1	lot	\$500.00	\$500.00	\$800.00	\$800.00
Labor for Backfilling and Sandbedding	1	lot	\$0.00	\$0.00	\$1,500.00	\$1,500.00
1-1/2" U/G PVC Pipe, Valves and Fittings	1	lot	\$6,500.00	\$6,500.00	\$6,500.00	\$6,500.00
Valve Box	1	lot	\$2,500.00	\$2,500.00	\$350.00	\$350.00
3/4" U/G PVC Pipe, Valves and Fittings	1	lot	\$1,000.00	\$1,000.00	\$850.00	\$850.00
1-1/2" Water meter w/ box and valve accessories	1	lot	\$2,000.00	\$2,000.00	\$750.00	\$750.00
1-1/2" Backflow Preventor and Accessories	1	lot	\$1,750.00	\$1,750.00	\$550.00	\$550.00
Backflow Preventor Testing and Certification	1	lot	\$0.00	\$0.00	\$550.00	\$550.00
Thrust Block	1	lot	\$150.00	\$150.00	\$200.00	\$200.00
Main Water Line Wet tapping to GWA	1	lot	\$8,000.00	\$8,000.00	\$10,500.00	\$10,500.00
		Sub-Total		\$35,400.00		\$33,050.00
		<b>Grand Total</b>				<b>\$68,450.00</b>

Exclusion:

- Supply and Labor of Sewer manholes and Cover
- Supply and Labor of Pipe Bollard at Backflow Preventor
- Supply and Labor for Grease Trap
- Permitting and Scheduling on GWA Water line tapping
- Any Excavation and Concreting Works
- Any Supply of Sandbedding
- Backhoe and Excavator Rental





Sonny Perez <sperez@ghura.org>

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## FW: Women's Treatment Center survey info

5 messages

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Allan M. Basino <amb0806@guam.net>

Wed, Mar 18, 2020 at 2:52 PM

To: sperez@ghura.org

Cc: Reynald Del Carmen <rey@inland.com.gu>, nelson del carmen <nelson@inland.com.gu>, Francis Tan <ibctan@inland.com.gu>

Hi Sonny,

We got these additional documents required by Land Management Office. Unfortunately, Land Management Office is also closed due to this COVID-19 Pandemic. We will submit this additional documents as soon as they resume their operation.

Our building permit application will also resume as soon as we satisfy the requirements of Land Management Office.

For your information.

Very truly yours,

**Ambasiño**

**Inland Builders Corporation**

(T) 671-646-5606

(F) 671-646-5929

(M) 671-864-2593

**From:** Pelita Lobaton [mailto:pelita@architectslaguana.com]  
**Sent:** Tuesday, March 17, 2020 11:49 AM  
**To:** Reynald Del Carmen <rey@inland.com.gu>; Allan M. Basino <amb0806@guam.net>  
**Cc:** Andrew Laguana <architectslaguana.atl@gmail.com>  
**Subject:** Women's Treatment Center survey info

Good morning Reynald,

Please see attached for the following drawings:

1. WTC-SIGNED-MAP.pdf (2019) - 1 page
2. DLM Zone Certifications for Lots 2169-NEW-R2 and 2174 (Portion D and E) - 2 pages total
3. Area survey maps from 2015, 2014, and 2012 - 5 pages





Note that during our research, it was determined that the new building and gen bldg are within the M1 zone. There is no front setback but the 8' side setback must be met (*per Jack Edwards, TGE, 08/30/19*).

--

**Pelita Lobaton**  
ARCHITECTS LAGUAÑA LLC  
446 East Marine Dr, Ste 200  
Hagatna Guam GU 96910  
(671) 632-6251/2

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#### 4 attachments

-  **WTC-SIGNED-MAP.pdf**  
497K
-  **DLM Zone Certification L2169-NEW-R2.pdf**  
163K
-  **DLM Zone Certification L2174 (Portion D and E).pdf**  
158K
-  **Scanned from a Xerox Multifunction Printer.pdf**  
1333K

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**Sonny Perez** <sperez@ghura.org>  
To: "Allan M. Basino" <amb0806@guam.net>  
Cc: Reynald Del Carmen <rey@inland.com.gu>, nelson del carmen <nelson@inland.com.gu>, Francis Tan <ibctan@inland.com.gu>

Mon, Mar 30, 2020 at 4:24 PM

Dear Rey,

Good afternoon. It was good to talk to you today. As mentioned in our conversation, HUD is requiring GHURA to submit a status report on its CDBG (Women's treatment center) project. I proposed to submit communication directly received from the contractor as evidence.

I know we verbally discussed this matter earlier today, so a written response for these two items is greatly appreciated:

- 1. Project Status report
- 2. Plan moving forward (Assume upon lifting of lockdown, government operations resume, etc.)

Your usual prompt action is appreciated. If you have any questions, please call or email.

Regards,  
Sonny

[Quoted text hidden]

Reynald Del Carmen <rey@inland.com.gu>  
To: Sonny Perez <sperez@ghura.org>

Tue, Mar 31, 2020 at 7:22 PM

Hi Sonny,  
Please see my responses in red. I sent this earlier today.

Please call or let me know if you have questions.

Regards  
Rey Del Carmen

Sent from my iPhone

On Mar 30, 2020, at 4:24 PM, Sonny Perez <sperez@ghura.org> wrote:

Dear Rey,

Good afternoon. It was good to talk to you today. As mentioned in our conversation, HUD is requiring GHURA to submit a status report on its CDBG (Women's treatment center) project. I proposed to submit communication directly received from the contractor as evidence.

I know we verbally discussed this matter earlier today, so a written response for these two items is greatly appreciated:

- 1. Project Status report

Status is essentially on hold – as you know before the government lockdown due to the current pandemic situation we were very anxious to start, having already submitted the building permit application to DPW. The application is with Land Management, the first agency that usually precedes processing by other government agencies. Land

Management requested more current lot map and survey info, and we've obtained the required info from the A/E. We are simply waiting for the government lockdown to be lifted before submitting the information requested and the building permit application process resumes.

2. Plan moving forward (Assume upon lifting of lockdown, government operations resume, etc.)

We are very concerned with the current situation. We currently do not have enough work for our men and it is possible that layoffs and/or forced vacations without pay may need to be implemented along with other financial considerations which may arise and prevent us from undertaking the project. As a result our financial resources may be impacted and our As a result our workers may seek employment with other contractors like those with military projects. This pandemic situation has brought much uncertainty that could affect resources and operations, some of our workers have reduced hours on work that we do have to limit spread of possible infection. I welcome any insight or possible mitigating solutions HUD may offer.

[Quoted text hidden]

---

rey@inland.com.gu <rey@inland.com.gu>

Tue, Mar 31, 2020 at 4:37 PM

To: Sonny Perez <sperez@ghura.org>

Cc: nelson del carmen <nelson@inland.com.gu>, Francis Tan <ibctan@inland.com.gu>, Allan Basino <amb0806@guam.net>

Hi Sonny,

Thank you for your e-mail. Please see my responses in **RED** below:

Please call or let me know if you have any questions.

Regards

Rey Del Carmen

From: Sonny Perez <sperez@ghura.org>

Sent: Monday, March 30, 2020 4:24 PM

**To:** Allan M. Basino <amb0806@guam.net>  
**Cc:** Reynald Del Carmen <rey@inland.com.gu>; nelson del carmen <nelson@inland.com.gu>; Francis Tan <ibctan@inland.com.gu>  
**Subject:** Re: FW: Women's Treatment Center survey info

Dear Rey,

Good afternoon. It was good to talk to you today. As mentioned in our conversation, HUD is requiring GHURA to submit a status report on its CDBG (Women's treatment center) project. I proposed to submit communication directly received from the contractor as evidence.

I know we verbally discussed this matter earlier today, so a written response for these two items is greatly appreciated:

1. Project Status report

Status is essentially on hold – as you know before the government lockdown due to the current pandemic situation we were very anxious to start, having already submitted the building permit application to DPW. The application is with Land Management, the first agency that usually precedes processing by other government agencies. Land Management requested more current lot map and survey info, and we've obtained the required info from the A/E. We are simply waiting for the government lockdown to be lifted before submitting the information requested and the building permit application process resumes.

2. Plan moving forward (Assume upon lifting of lockdown, government operations resume, etc.)

We are very concerned with the current situation. We currently do not have enough work for our men and it is possible that layoffs and/or forced vacations without pay may need to be implemented along with other financial considerations which may arise and prevent us from undertaking the project. As a result our financial resources may be impacted and our workers may seek employment with other contractors like those with military projects. This pandemic situation has brought much uncertainty that could affect resources and operations, some of our workers have experienced reduced hours on work that we do have to limit spread of possible infection. I welcome any insight or possible mitigating solutions HUD may offer.

[Quoted text hidden]

[Quoted text hidden]

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**Sonny Perez** <sperez@ghura.org>  
To: Katherine Taitano <katherine@ghura.org>

Wed, Apr 1, 2020 at 10:34 AM

Cc: Ray Topasna <rstopasna@ghura.org>, Elizabeth Napoli <efnapoli@ghura.org>

Dear Kathy,

Please see the response below from Inland Builders. They are the contractors set to build the Women's Treatment Center in Tiyan. Their building permit application was undergoing circulation but processing is difficult due to our current lockdown. They are open to receiving guidance from us.

Regards,  
Sonny

[Quoted text hidden]



Sonny Perez <sperez@ghura.org>

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**IFB GHURA-09-26-2019 CDBG, Lighthouse Women's Recovery Center**

12 messages

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rey@inland.com.gu <rey@inland.com.gu>  
To: Sonny Perez <sperez@ghura.org>

Sat, Apr 25, 2020 at 3:20 PM

Hi Sonny,

Thank you for your call earlier this week.

As I alluded to in my previous 3/31/2020 e-mail to you, the economic dislocation created by the COVID 19 forced Inland Builders to lay off many of our workers including key management personnel which directly affects our ability to undertake the construction of the Project which is yet to be permitted because all Gov Guam offices remain closed.

If Inland Builders was able to commence the project at some future date, at the very least we would anticipate requests for time extensions and any associated costs, including possible increases in material prices, delays in shipping, and re-hiring of workers and management personnel who may or may not be available.

Therefore under these unprecedented circumstances we are requesting the Authority act under paragraph 34 of the General Conditions, to exercise its right to terminate the contract for its convenience..

Thank you for your consideration during these difficult times.

Thank you

Reynald Del Carmen

VICE PRESIDENT

**Sonny Perez** <sperez@ghura.org>

Mon, Apr 27, 2020 at 8:43 AM

To: Ray Topasna <rstopasna@ghura.org>, Elizabeth Napoli <efnapoli@ghura.org>  
Cc: Katherine Taitano <katherine@ghura.org>, Greta Balmeo <gbalmeo@ghura.org>

Dear Director Topasna,

I received this email from Mr. Ray Del Carmen requesting to terminate the contract to build the Women's Treatment Center in Tiyan. Rey and I first discussed this when I asked about interest in the Paseo lighting project and he declined to participate because Inland Builders already lost his workers. We had a few subsequent phone calls with the hopes to dissuade him from this option, unfortunately, his decision is prompted by the current COVID-19 situation and the other company owners.

I haven't responded yet but will do so after I receive your guidance. Our options moving forward:

1. Re-bid the project.
2. Negotiate #2 bidder
3. Identify and re-direct funds to other GHURA CDBG projects already approved by HUD.
4. Identify and re-direct funds to a shovel-ready COVID-19 related project with HUD's approval.

My immediate thoughts to each option:

1. Re-bid the project. Standard timeline: 30-45 days procurement (advertise, site-inspection, answer requests for information, evaluate, award). Under COVID-19, anticipate an extended timeline. Contract processing and permits: Timeline: maybe 60 days depending on permitting agencies and their work schedules. Total: 105 days (3.5 - 4 months)
2. Negotiate #2 bidder. Need to review the procurement law if this is possible after contract award. I recall GovGuam allowing a 10-day period to the contractors to protest after the notification of potential bid award. This was done in Nov/Dec 2019 while Mr. Santos was the A/E Manager. I don't think this is a via option any longer, under procurement law.

Options #3 and #4 are possible and we will need guidance from HUD. I'm open to meet and discuss.

Regards,  
Sonny

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**Ray Topasna** <rstopasna@ghura.org>

Mon, Apr 27, 2020 at 8:58 AM

To: Sonny Perez <sperez@ghura.org>

Please discuss with legal the possibility of negotiating w/ #2 bidder. We need to explore some quick solutions.

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**Sperez** <sperez@ghura.org>

Mon, Apr 27, 2020 at 9:04 AM

To: Ray Topasna <rstopasna@ghura.org>

Dear DirTopasna,

Ok will do. I'll email Atty Perez and get his opinion ASAP. Will let you know after I receive his response.

Regards,  
Sonny

[Quoted text hidden]



**Sperez** <sperez@ghura.org>  
To: "Eqs Anthony C. Perez" <acp@perezlawguam.com>  
Cc: Ray Topasna <rstopasna@ghura.org>

Mon, Apr 27, 2020 at 9:12 AM

Dear Atty Perez,

I hope this finds you well. We received a request from Inland Builders to terminate their contact to build the Women's Treatment center. Director Ray is exploring discussions with the #2 lowest bidder. To give you an idea of timelines, Mr Santos personally notified and awarded the contract to Inland Builders.

I hope you can help us out. We are open to recommendations.

Regards,  
Sonny

Begin forwarded message:

[Quoted text hidden]

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**Anthony C. Perez, Eqs** <acp@perezlawguam.com>  
Reply-To: acp@perezlawguam.com  
To: Sperez <sperez@ghura.org>  
Cc: Ray Topasna <rstopasna@ghura.org>

Fri, May 1, 2020 at 10:25 AM

Dear Ray and Sonny:

Per our discussions held on April 27, 2020, GHURA need not terminate this contract for convenience. The right to terminate for convenience rests with GHURA, and it would not be in GHURA's best interests to terminate this contract. Inland Builders remains the contractor on this project, and they should have submitted a bid bond, requiring them to execute the contract, and a performance bond, requiring them to complete the contract. Though delays are perhaps understandable, GHURA could agree to extend the time for performance. I do note that there are numerous on-going construction projects during this Coronavirus time-period, such as the intersection in Hagatna, and the loss of workers of Inland Builders may not necessarily be attributable to the Coronavirus. Terminating this contract would have negative effects to GHURA, including possible CDBG concerns regarding encumbering the funds for this Project.

Let me know if there are any additional questions or concerns.

Tony

[Quoted text hidden]

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**Sonny Perez** <sperez@ghura.org>  
To: Alice James <alicej@ghura.org>  
Cc: Andrew Manglona <amanglona@ghura.org>, Robert Hess <rhess@ghura.org>, Sean Leon Guerrero <srleonguerrero@ghura.org>

Mon, May 11, 2020 at 9:09 AM

Dear A/E,

FYI.

Sonny

**From:** Sonny Perez <sperez@ghura.org>  
**Sent:** Monday, April 27, 2020 8:43 AM  
**To:** Ray Topasna <rstopasna@ghura.org>; Elizabeth Napoli <efnapoli@ghura.org>  
**Cc:** Katherine Taitano <katherine@ghura.org>; Greta Balmeo <gbalmeo@ghura.org>

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**Sonny Perez** <sperez@ghura.org>  
To: rey@inland.com.gu

Fri, May 22, 2020 at 10:48 AM

Dear Rey,

Good morning. Just a kind followup to schedule our meeting next week. I'm open Thursday or Friday. Please let me know your availability.

Regards,

Sonny

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**From:** rey@inland.com.gu <rey@inland.com.gu>  
**Sent:** Saturday, April 25, 2020 3:20 PM  
**To:** 'Sonny Perez' <sperez@ghura.org>  
**Subject:** IFB GHURA-09-26-2019 CDBG, Lighthouse Women's Recovery Center

Hi Sonny,

[Quoted text hidden]

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**rey@inland.com.gu** <rey@inland.com.gu>  
To: Sonny Perez <sperez@ghura.org>

Fri, May 22, 2020 at 12:51 PM

Hi Sonny

We are available either day. 9:30am or 10:00am?

Thanks

Reynald

[Quoted text hidden]

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**Sonny Perez** <sperez@ghura.org>  
To: Reynald Del Carmen <rey@inland.com.gu>

Mon, May 25, 2020 at 8:57 PM

Dear Rey,

Good evening. I'm open for Thursday 10am to meet at your office in Harmon.

Regards,  
Sonny

[Quoted text hidden]

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**rey@inland.com.gu** <rey@inland.com.gu>  
To: Sonny Perez <sperez@ghura.org>  
Cc: Nelson Del Carmen <nelson@inland.com.gu>

Tue, May 26, 2020 at 10:35 AM

Hi Sonny

My office this Thursday at 10am will be fine, thank you.

Regards

[Quoted text hidden]

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**Sperez** <sperez@ghura.org>  
To: Andrew Manglona <amanglona@ghura.org>

Tue, May 26, 2020 at 12:40 PM

Begin forwarded message:

**From:** Rey <rey@inland.com.gu>  
**Date:** May 26, 2020 at 10:35 AM  
**To:** Sonny Perez <sperez@ghura.org>

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Sonny Perez &lt;sperez@ghura.org&gt;

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**RE: IFB GHURA-09-26-2019 CDBG, Lighthouse Women's Recovery Center**

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rey@inland.com.gu <rey@inland.com.gu>  
To: Sonny Perez <sperez@ghura.org>

Tue, Jun 16, 2020 at 1:12 PM

Hi Sonny

It was good to meet with you last week regarding the Project.

Despite the loss in manpower as stated below we wish to work with the Authority to mitigate how the COVID 19 pandemic delays have impacted GHURA and Inland Builders on this Project. First and foremost will be the need to be able to utilize H-2 workers, as this will be instrumental in getting the project back on track and maximizing success of the Project. Please advise how we can assist GHURA in providing a Support Letter in connection with this H-2 utilization as previously requested in our letter to you dated February 25 earlier this year.

We will now focus on the following:

- Resume coordination with government agencies in securing the Building Permit.
- Attempt to rehire our workers. As previously discussed they have only committed to working on weekends.
- Solicit proposals from subcontractors for various portions of the work.
- Requesting confirmation from our suppliers and vendors on material pricings and delivery schedules.

It is expected all the above will result in cost increases and delays. Once we gather all the required documentation and information, we will submit a delay and related cost claim to GHURA for your consideration.

Please let me know if you have any questions.

Regards

Reynald Del Carmen

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**From:** rey@inland.com.gu <rey@inland.com.gu>  
**Sent:** Saturday, April 25, 2020 3:20 PM  
**To:** 'Sonny Perez' <sperez@ghura.org>  
**Subject:** IFB GHURA-09-26-2019 CDBG, Lighthouse Women's Recovery Center

Hi Sonny,

Thank you for your call earlier this week.

As I alluded to in my previous 3/31/2020 e-mail to you, the economic dislocation created by the COVID 19 forced Inland Builders to lay off many of our workers including key management personnel which directly affects our ability to undertake the construction of the Project which is yet to be permitted because all Gov Guam offices remain closed.

If Inland Builders was able to commence the project at some future date, at the very least we would anticipate requests for time extensions and any associated costs, including possible increases in material prices, delays in shipping, and re-hiring of workers and management personnel who may or may not be available.

Therefore under these unprecedented circumstances we are requesting the Authority act under paragraph 34 of the General Conditions, to exercise its right to terminate the contract for its convenience..

Thank you for your consideration during these difficult times.

Thank you

Reynald Del Carmen

VICE PRESIDENT



Sonny Perez &lt;sperez@ghura.org&gt;

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**EPA comments on building permit**

4 messages

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rey@inland.com.gu <rey@inland.com.gu>  
To: Andrew Laguana <architectslaguana.atl@gmail.com>  
Cc: Sonny Perez <sperez@ghura.org>

Thu, Oct 15, 2020 at 11:17 AM

Andy:

Please see the attached comments we only received yesterday. It is dated September 8<sup>th</sup> but we have been following up with EPA at One Stop many times and they never said anything. We cannot follow up with EPA in Tiyan because they have been closed. I suspect the comments have been sitting at EPA Tiyan and someone forgot to pass it down to EPA at One Stop.

Regards

Reynald

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 **Lighthouse EPA comments.pdf**  
191K

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Sonny Perez <sperez@ghura.org>  
To: Ray Topasna <rstopasna@ghura.org>, Elizabeth Napoli <efnapoli@ghura.org>

Thu, Oct 15, 2020 at 9:00 PM

Dear Director Topasna,

Please see the comments from Ray Del Carmen from Inland Builders about the many attempts to follow up at GEPA. It was my misunderstanding; I thought the permit had cleared GEPA, apparently not, so I apologize. I will ask Sean to expedite but if they remain closed, maybe some help from the front office may be needed.

Regards,  
SonnyGet [Outlook for iOS](#)

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**From:** rey@inland.com.gu <rey@inland.com.gu>  
**Sent:** Thursday, October 15, 2020 8:54 PM  
**To:** 'Andrew Laguana'  
**Cc:** 'Sonny Perez'  
**Subject:** EPA comments on building permit

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 **Lighthouse EPA comments.pdf**  
191K

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**Sonny Perez** <sperez@ghura.org>  
To: "sean.lg87@gmail.com" <sean.lg87@gmail.com>

Tue, Oct 27, 2020 at 3:59 PM

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**From:** Sonny Perez <sperez@ghura.org>  
**Sent:** Thursday, October 15, 2020 9:00:56 PM  
**To:** Ray Topasna <rstopasna@ghura.org>; Elizabeth Napoli <efnapoli@ghura.org>  
**Subject:** Fwd: EPA comments on building permit

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 **Lighthouse EPA comments.pdf**  
191K

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**Sonny Perez** <sperez@ghura.org>  
To: Andrew Manglona <andrewmanglona@gmail.com>

Mon, Nov 23, 2020 at 12:08 PM

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**From:** Sonny Perez <sperez@ghura.org>  
**Sent:** Tuesday, October 27, 2020 3:59:41 PM  
**To:** sean.lg87@gmail.com <sean.lg87@gmail.com>  
**Subject:** Fwd: EPA comments on building permit

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 **Lighthouse EPA comments.pdf**  
191K



May 13, 2022

**To:** Board of Commissioners

**From:** Acting Executive Director, Elizabeth F. Napoli 

**Subject:** Change Order #2 to GHURA – 09-02-2019 – CDBG: Construction of a Community Arts Center In Sinajana

This is a request to approve the change order for the subject project:

**Background**

The Community Arts Center in Sinajana project was awarded to Mega United in December 11, 2019. Governor Leon Guerrero shutdown all government operations on March 17, 2020, due to the COVID-19 pandemic. GHURA worked and supported Mega United to continue the community center’s construction. On September 16, 2021, the Board of Commissioners approved a change order to accommodate the increase of material and labor costs as a result of the COVID-19 policy impacts. On June 24, 2021, Sinajana Mayor Robert Hofmann invited the arts community for their input to improve the upcoming community center. Their comments were discussed on previous board meetings. GHURA management negotiated and commissioned the facility designer, EM Chen, to revise the facility design drawings to include Mayor Hofmann’s, and the arts community request, into the building.

**Analysis**

Change order #2 consists of two values: an increase to schedule a crane to lift and install the double-tee roof to keep the construction schedule and the costs associated with Mayor Hofmann and the art community’s request to make the facility easier to operate.

Crane: The pandemic adversely affected the building construction schedule, thereby also disrupting the crane’s schedule. When contractor was coordinating the crane to the new timelines, the crane owner could no longer honor the price given to Mega United’s bid proposal. Therefore, the change order is to cover the price increase due to crane availability to keep to project timelines. (Adjustment Request: \$12,425; Change Order Request #3)

Arts Community Recommendations for Interior Works: improvements to “help the CCAH prepare, plan, and prevent for this and future pandemics”: air conditioners, HEPA filters/UV light sanitizers and air quality purifiers, extending/expanding walkways to better accommodate social distancing/spacing as the public enters and exits the building and changing floor surfaces to make it easier to clean and sanitize”. (Adjustment Request: \$61,940; Change Order Request #6A)

**Recommendation**

Mega United submitted quotations for the increase in crane rental costs and the Sinajana Arts Center interior improvements. A/E supports the proposal and recommends its approval. The total change order request: **\$74,365.00**

# Mega United Corp.

Ixo Industrial Park, 215 Rojas St. Suite 208, Harmon Guam 96913

ph/fx: 671-649-0397

## CHANGE-ORDER REQUEST #3

TO:	SUBMITTED BY:	DATE:
Mr. Sonny Perez/Facility Manager	David Zhang/Mega United Corp.	9/08/2021
COMPANY:	WE ARE TRANSMITTING	
Ghura	<input type="checkbox"/> ATTACHED	<input type="checkbox"/> SEPARATELY VIA
PROJECT:	Ghura Community Art Center in Sinajana	

### Change Order Requested:

Description: Our request for change order #3 is based on price escalation of our crane services. The bid proposal that we submitted was rooted from the proposal of Mr. Kwak (200ton Crane services provider) which was reflected on our original project Schedule of Value submitted to Ghura (Pls. see EXHIBIT "A" attached Page 2 item #3.00m with marker).

Due to Covid-19 outbreak and subsequent lockdowns, the project was severely delayed and held back for more than one year; following recent concrete pouring of columns, the installation of precast double Tees is on track for schedule in the second week of October, 2021. Therefore We recently contacted Mr. Kwak in order to prepare and confirm his crane service, Unfortunately we had found out that Mr. Kwak had entered into a long-term crane service contract with Sumitomo construction for a big shopping mall project located in Tamuning, and He won't be able to do the crane services for our said installation of double tees.

In order to complete the installation, we have to seek crane services of another provider. Therefore we finally got a qualified (min. 200 ton crane) quote from SmithBridge (Pls. see attached EXHIBIT "B" quote from SmithBridge)

Due to capacity requirement we are not able to find other crane service providers to do our pending installation job, We will have to accept SmithBridge's price quote. There is a big price gap between our original bid price and SmithBridge's quote price. Our original bid price for double tees installation was \$11,040 inclusive of tax, overhead and profit etc.; price quote for this task from Smithbridge's is \$18,050 net, adding tax, overhead and profit (assuming 30% total to be fair and reasonable), we therefore need  $\$18,050 \times 1.3 = \$23,465$  to stay afloat for the double tees installation. As a result we need to claim price adjustment of  $(\$23,465 - \$11,040) = \$12,425$  to Ghura in order to reflect current market conditions.

Your immediate approval of this change order is crucial to properly compensate the contractor and fairly carry out the contract. The Lump sum price below includes all double tees installation related additional cost.

## Mega United Corp.

Ixo Industrial Park, 215 Rojas St. Suite 208, Harmon Guam 96913

ph/fx: 671-649-0397

Item	Description	Quantity	Total Cost
1.	Bid cost based on SOV (200 ton Mr. Kwak Crane) October 2019, inclusive of tax, overhead and profit.	1 Lot	<b>\$11,040.00</b>
2.	Price Quote for installation (Smithbridge Crane) September 2021, Net pay to SmithBridge	1 Lot	\$18,050.00
3.	SmithBridge's Quote adding tax, overhead and profit 30% additional to cover	1 Lot	1.3 x \$18,050 = <b>\$23,465.00</b>
4.	Double Tees installation Price Adjustment(Item #3 Minus Item #1	1 Lot	<b>\$12,425.00</b>
<b>TOTAL ADJUSTMENT COST:</b>			<b>\$12,425.000</b>

Your prompt review and approval will be greatly appreciated!

Response to CO #3:



Submitted By: David Zhang

09-08-2021

Date

Approved By (Print Name & Sign)

Date/Time:

# EXHIBIT "A" (Page 2. Item 3.00m)

## Original Schedule of Values

Project Name: Ghura Sinajana Art Center	Architect: E. M. Chen Associates Inc.
Project Owner: Guam Housing And Urban Renewal Authority	
General Contractor: Mega United Corp.	Submitted By: Mega United Corp.

### SCHEDULE OF VALUES

DIVISN NO.	DESCRIPTION OF WORK	UNIT	QTY	MATERIAL		LABOR COST		EQUIPMENT		TOTAL COST
				U/C	T/C	U/C	T/C	U/C	T/C	
1.00	General Conditions									
a	Bonds & Insurance etc. Furnished	Lot	1	\$38,346.00	\$38,346.00	\$0.00	\$0.00	\$0.00	\$0.00	\$38,346.00
b	Permits & Other Government Fees	Lot	1	\$12,000.00	\$12,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$12,000.00
c	Quality Control & Various Testings	Lot	1	\$1,600.00	\$1,600.00	\$4,000.00	\$4,000.00	\$0.00	\$0.00	\$5,600.00
d	Mobilization	Lot	1	\$10,000.00	\$10,000.00	\$6,000.00	\$6,000.00	\$4,000.00	\$4,000.00	\$20,000.00
e	Disconnection/Removal Preparation for Demolition	Lot	1	\$1,600.00	\$1,600.00	\$2,400.00	\$2,400.00	\$0.00	\$0.00	\$4,000.00
f	Safety & Environment Implements	Lot	1	\$8,000.00	\$8,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$4,000.00	\$16,000.00
g	Project Management	Lot	1	\$4,200.00	\$4,200.00	\$28,000.00	\$28,000.00	\$0.00	\$0.00	\$32,200.00
	Subtotal									\$128,146.00
2.00	Existing Conditions									
a	Demolition works									
a1	Demolish Existing Concrete Structures	Sf	4200	\$5.00	\$21,000.00	\$10.00	\$42,000.00	\$10.00	\$42,000.00	\$105,000.00
b	Water Main Line Connection	Lot	1	\$1,000.00	\$1,000.00	\$500.00	\$500.00	\$0.00	\$0.00	\$1,500.00
c	Sewer Line Connection	Lot	1	\$1,000.00	\$1,000.00	\$500.00	\$500.00	\$0.00	\$0.00	\$1,500.00
d	Electrical Main Line Connection	Lot	1	\$4,000.00	\$4,000.00	\$2,400.00	\$2,400.00	\$800.00	\$800.00	\$7,200.00
e	General Cleaning & Landscaping	Lot	1	\$1,600.00	\$1,600.00	\$800.00	\$800.00	\$400.00	\$400.00	\$2,800.00
	Subtotal									\$118,000.00
3.00	Concrete									
a	Column Footings at Art Center Building									
a1	F1 (8'0"x6'0")	Each	2	\$760.00	\$1,520.00	\$640.00	\$1,280.00	\$50.00	\$100.00	\$2,900.00
a2	F2 (6'0"x6'0") & F2A (7'0"x5'0")	Each	2	\$560.00	\$1,120.00	\$480.00	\$960.00	\$40.00	\$80.00	\$2,160.00
a3	F3 (5'6"x5'6") & F3A (6'0"x5'0")	Each	8	\$480.00	\$3,840.00	\$400.00	\$3,200.00	\$30.00	\$240.00	\$7,280.00
a4	F4 (5'0"x5'0")	Each	1	\$400.00	\$400.00	\$340.00	\$340.00	\$25.00	\$25.00	\$765.00
b	Column Footings at New Covered Walkway									
b1	F5 (3'0"x3'0")	Each	4	\$160.00	\$640.00	\$120.00	\$480.00	\$10.00	\$40.00	\$1,160.00
b2	F6 (3'0"x3'0")	Each	12	\$160.00	\$1,920.00	\$120.00	\$1,440.00	\$10.00	\$120.00	\$3,480.00
c	Wall Footings at Art Center Building									

i.

c1	WF1, WF2, WF1A, WF2A (28"x10")	Lf	180	\$48.00	\$8,640.00	\$40.00	\$7,200.00	\$4.00	\$720.00	\$16,560.00
d	Tie Beam (12"x10") at Art Center Building	Lf	110	\$20.00	\$2,200.00	\$20.00	\$2,200.00	\$2.50	\$275.00	\$4,675.00
e	Slab On Grade at Art Center Building	Sf	2876	\$4.50	\$12,942.00	\$1.00	\$2,876.00	\$0.50	\$1,438.00	\$17,256.00
f	Slab On Grade at New Covered Walkway	Sf	1260	\$4.50	\$5,670.00	\$1.00	\$1,260.00	\$0.50	\$630.00	\$7,560.00
g	Concrete Stair at Art Center Building	Sf	140	\$16.00	\$2,240.00	\$24.00	\$3,360.00	\$0.00	\$0.00	\$5,600.00
h	Concrete Columns at Art Center Building									
h1	C1 & C2 (16"x16"x20")	Each	4	\$400.00	\$1,600.00	\$400.00	\$1,600.00	\$0.00	\$0.00	\$3,200.00
h2	C3 (16"x16"x20")	Each	8	\$400.00	\$3,200.00	\$400.00	\$3,200.00	\$0.00	\$0.00	\$6,400.00
h3	C4 (16"x16"x10")	Each	1	\$200.00	\$200.00	\$200.00	\$200.00	\$0.00	\$0.00	\$400.00
i	Concrete Columns at New Covered Walkway									
i1	C5 (14"x14"x14")	Each	4	\$220.00	\$880.00	\$220.00	\$880.00	\$0.00	\$0.00	\$1,760.00
i2	C6 (12"x12"x10")	Each	12	\$120.00	\$1,440.00	\$120.00	\$1,440.00	\$0.00	\$0.00	\$2,880.00
j	Concrete Beams at Art Center Building									
j1	B1---B9 (14"x20")	Lf	290	\$28.00	\$8,120.00	\$28.00	\$8,120.00	\$0.00	\$0.00	\$16,240.00
j2	B10 (12"x16")	Lf	7	\$20.00	\$140.00	\$20.00	\$140.00	\$0.00	\$0.00	\$280.00
j3	RB1---RB4 (14"x34")	Lf	138	\$48.00	\$6,624.00	\$48.00	\$6,624.00	\$0.00	\$0.00	\$13,248.00
j4	RB5---RB6 (12"x24")	Lf	80	\$28.00	\$2,240.00	\$28.00	\$2,240.00	\$0.00	\$0.00	\$4,480.00
k	Concrete Beams at New Covered Walkway									
k1	WRB1---WRB6 (12"x18")	Lf	174	\$20.00	\$3,480.00	\$20.00	\$3,480.00	\$0.00	\$0.00	\$6,960.00
k2	WRB7---WRB11 (12"x16")	Lf	130	\$20.00	\$2,600.00	\$20.00	\$2,600.00	\$0.00	\$0.00	\$5,200.00
l	Mezzanine Floor Slab at Art Center Building	Sf	800	\$16.00	\$12,800.00	\$16.00	\$12,800.00	\$0.00	\$0.00	\$25,600.00
m	Double Tee Installation	Sf	2760	\$15.00	\$41,400.00	\$3.00	\$8,280.00	\$4.00	\$11,040.00	\$60,720.00
n	Roof Slab Topping at Art Center Building	Sf	2760	\$8.00	\$22,080.00	\$4.00	\$11,040.00	\$0.00	\$0.00	\$33,120.00
o	Roof Slab at New Covered Walkway	Sf	1260	\$16.00	\$20,160.00	\$16.00	\$20,160.00	\$0.00	\$0.00	\$40,320.00
	Subtotal									\$290,204.00
4.00	Masonry									
a	8" CMU Wall to Mezzanine Floor at Art Center	Sf	2570	\$2.50	\$6,425.00	\$2.50	\$6,425.00	\$0.00	\$0.00	\$12,850.00
b	8" CMU Wall to Roof Level at Art Center	Sf	2180	\$2.50	\$5,450.00	\$2.50	\$5,450.00	\$0.00	\$0.00	\$10,900.00
5.00	Metal									
a	Galvanized Stair Handrail at Art Center Building	Set	1	\$2,000.00	\$2,000.00	\$3,000.00	\$3,000.00	\$0.00	\$0.00	\$5,000.00
b	1/2"x1/2" Angle Stair Nosings	Each	18	\$40.00	\$720.00	\$10.00	\$180.00	\$0.00	\$0.00	\$900.00
	Subtotal									\$5,900.00
7.00	Thermal & Moisture Protection									
a	Black Acoustic Ceiling Panels (4'x8'x2")	Each	86	\$100.00	\$8,600.00	\$20.00	\$1,720.00	\$0.00	\$0.00	\$10,320.00
b	Acoustic Wall Panels (4'x8'x2")	Each	38	\$100.00	\$3,800.00	\$20.00	\$760.00	\$0.00	\$0.00	\$4,560.00

Double Tee Chrome Service

c	Elastomeric Roof Coating	Sf	3050	\$2.50	\$7,625.00	\$1.50	\$4,575.00	\$0.00	\$0.00	\$12,200.00
d	SSTL Flashings	Lf	142	\$20.00	\$2,840.00	\$10.00	\$1,420.00	\$0.00	\$0.00	\$4,260.00
	<b>Subtotal</b>									<b>\$31,340.00</b>
<b>8.00</b>	<b>Doors &amp; Windows</b>									
a	<b>Doors at Art Center Building</b>									
a1	Solid Core Wood Doors	Set	6	\$560.00	\$3,360.00	\$200.00	\$1,200.00	\$0.00	\$0.00	\$4,560.00
a2	Aluminum Single Door w/Panic	Set	3	\$1,500.00	\$4,500.00	\$250.00	\$750.00	\$0.00	\$0.00	\$5,250.00
a3	Aluminum Single Door	Set	1	\$1,200.00	\$1,200.00	\$200.00	\$200.00	\$0.00	\$0.00	\$1,400.00
a4	Aluminum Double Door w/Panic	Set	5	\$2,500.00	\$12,500.00	\$500.00	\$2,500.00	\$0.00	\$0.00	\$15,000.00
b	<b>Aluminum Windows/Shutters at Art Center Building</b>									
b1	Aluminum Sliding Window W1 (4'x4')	Set	3	\$300.00	\$900.00	\$100.00	\$300.00	\$0.00	\$0.00	\$1,200.00
b2	Typhoon Shutters for W1	Set	3	\$800.00	\$2,400.00	\$100.00	\$300.00	\$0.00	\$0.00	\$2,700.00
b3	Aluminum Fixed Glass Window W2 (4'x10')	Set	1	\$800.00	\$800.00	\$200.00	\$200.00	\$0.00	\$0.00	\$1,000.00
	<b>Subtotal</b>									<b>\$31,110.00</b>
<b>9.00</b>	<b>Finishes</b>									
a	Gypsum Board Partitions 1st Floor	Sf	1600	\$3.20	\$5,120.00	\$3.20	\$5,120.00	\$0.00	\$0.00	\$10,240.00
b	Gypsum Board Partitions 2nd Floor	Sf	610	\$3.20	\$1,952.00	\$3.20	\$1,952.00	\$0.00	\$0.00	\$3,904.00
c	Restroom Ceramic Tiles at Building A	Set	2	\$1,000.00	\$2,000.00	\$1,000.00	\$2,000.00	\$0.00	\$0.00	\$4,000.00
d	Vinyl Tile & Rubber Base at Control Room	Sf	710	\$2.50	\$1,775.00	\$1.00	\$710.00	\$0.00	\$0.00	\$2,485.00
e	Exterior Painting for Art Center Building	Sf	3858	\$0.80	\$3,086.40	\$0.80	\$3,086.40	\$0.00	\$0.00	\$6,172.80
f	Exterior Painting for New Covered Walkway	Sf	1127	\$0.80	\$901.60	\$0.80	\$901.60	\$0.00	\$0.00	\$1,803.20
	<b>Subtotal</b>									<b>\$28,605.00</b>
<b>10.00</b>	<b>Specialties</b>									
a	Toilet Compartments at Building A	Each	2	\$2,000.00	\$4,000.00	\$500.00	\$1,000.00	\$0.00	\$0.00	\$5,000.00
b	Fire Extinguisher w/Bracket (15lbs)	Each	6	\$350.00	\$2,100.00	\$100.00	\$600.00	\$0.00	\$0.00	\$2,700.00
c	Washroom Accessories	Each	2	\$1,000.00	\$2,000.00	\$500.00	\$1,000.00	\$0.00	\$0.00	\$3,000.00
	<b>Subtotal</b>									<b>\$10,700.00</b>
<b>22.00</b>	<b>Plumbing Works</b>									
a	<b>Interior Plumbing Works</b>									
a1	Plumbing WaterLine Rough-ins	Lot	1	\$3,000.00	\$3,000.00	\$1,000.00	\$1,000.00	\$0.00	\$0.00	\$4,000.00
a2	Plumbing SewerLine Rough-ins	Lot	1	\$3,000.00	\$3,000.00	\$1,000.00	\$1,000.00	\$0.00	\$0.00	\$4,000.00
a3	Water Closet	Each	3	\$300.00	\$900.00	\$100.00	\$300.00	\$0.00	\$0.00	\$1,200.00
a4	Lavatory w/Faucet	Each	2	\$400.00	\$800.00	\$100.00	\$200.00	\$0.00	\$0.00	\$1,000.00
a5	Urinal	Each	1	\$500.00	\$500.00	\$100.00	\$100.00	\$0.00	\$0.00	\$600.00
a6	IEWH/3.5kw	Each	2	\$600.00	\$1,200.00	\$150.00	\$300.00	\$0.00	\$0.00	\$1,500.00
a7	Misc Plumbing Items	Lot	1	\$800.00	\$800.00	\$400.00	\$400.00	\$0.00	\$0.00	\$1,200.00

7.



Quote No.:228125-1

Date: 24 August 2021

Company	MEGA UNITED CORP	Commencement	6 September 2021
Contact	Garie Garcia	Completion	6 September 2021
Phone	6868208	Project	Ghura Community Art Center
Email	garie.garcia08@gmail.com	Location	Bienvendida Ave (Next to Mayors Office), Sinajana, Guam 96910

Dear Garie Garcia,

Smithbridge Guam Inc is a privately-owned company operating an extensive fleet of Crawler, Truck Mounted and Franna Cranes available for dry and manned rental. Our crane fleet currently includes Crawlers ranging from 120t to 600t, Frannas ranging from 20t to 40t and Truck Mounted/All Terrain ranging up to 275t.

We are pleased to submit our quotation for the below mentioned project for the supply of cranes, riggers and equipment where applicable as detailed below.

**Scope of Work:**

Install 7 Double Tee's

Note: All rates shown below are hourly unless otherwise stated

Equipment/Service	Multiplier	Qty	Rate	Total
<b>Crane Hire: Min. 4 hrs</b>				
220 Tonne All Terrain Crane		12	\$550.00	\$6,600.00
		4 (OT)	\$32.50	\$130.00
<b>Additional Labor: Min. 4 hrs</b>				
Rigger	X 2	12	\$65.00	\$1,560.00
		4 (OT)	\$32.50	\$260.00
<b>Engineering</b>				
Lift Plans/Engineering		5	\$100.00	\$500.00
<b>Mob &amp; DeMob</b>				
Mob & DeMob				\$9,000.00
<b>Estimated Total</b>				<b>\$18,050.00</b>



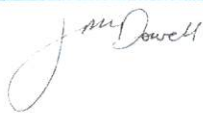


**Comments:**

This quote is only a budget estimate based on 1 x 12hr work day at an hourly rate of \$550/hr. Final billing will be based off actually crane hours worked. The crane work hours are measured as operator charged hours. There will also be no charge for unpaid 1/2 hour lunch break per day. Additional time worked above the quantity quoted will incur further charges. Any additional overtime loading applies after 8hrs weekday and on weekend & Public holidays, the loading rate is \$32.50/hr. Any hours in excess of 8hr weekday or on weekends will be charged the usual crane rate (\$550/hr) plus loading (\$32.50).

1. Normal working hours are 6.00am to 6.00pm, Monday to Friday.
2. An additional overtime rate applies outside of normal hours, or after 8 hours of hire. Intermittent rest breaks (i.e. smoko) is a paid break. Hire continues for this period.
3. An additional rate is charged per person per public holiday hour for all work executed on public holidays.
4. Work commencing outside of normal working hours will incur a 4 hour minimum charge except for nightshift which will be charged at a minimum of 4 hours for equipment and 8 hours for labour.
5. Crane rates apply from depot to depot. Delays not related to Smithbridge Guam Inc. may incur additional charges.
6. Additional charges may apply if unloading or loading on site is delayed for more than two hours.
7. Smithbridge Guam Inc. will not accept any responsibility for onsite damages to site or services because of poor access &/or conditions.
8. Rates for traffic control, road closures, meals & accommodation &/or LAHA are available on request.
9. Full Terms & Conditions are available on request
10. The prices for our Frannas, All Terrain Cranes, Crawler Cranes, Forklifts and Tractors include the operator and fuel cost. The prices for the Manlifts DOES NOT include the operator and fuel.
11. Additional time worked above the quantity quoted will incur further charges

For full terms and conditions please visit: [www.smithbridge.net/termsandconditions](http://www.smithbridge.net/termsandconditions)

Quote No: 228125-1		AUTHORISED PERSON / COMPANY	SIGNATURE	DATE
OWNER	Authorised Person	McDOWELL, Jackson R		24-Aug-21
	Company Name	Smithbridge Guam Inc		
HIRER	Authorised Person	MEGA UNITED CORP	X _____	24-Aug-21
	Company Name			
COMMENTS				

## Mega United Corp.

Ixo Industrial Park, 215 Rojas St. Suite 208, Harmon Guam 96913  
ph/fx: 671-649-0397

### CHANGE-ORDER REQUEST #6A

TO:	SUBMITTED BY:	DATE:
Mr. Sonny Perez	David Zhang/Mega United Corporation	3/09/2022
COMPANY:	WE ARE TRANSMITTING	
Ghura	<input type="checkbox"/> ATTACHED	<input type="checkbox"/> SEPARATELY VIA
PROJECT: Ghura Community Art Center in Sinajana		


**Change Order Requested:**

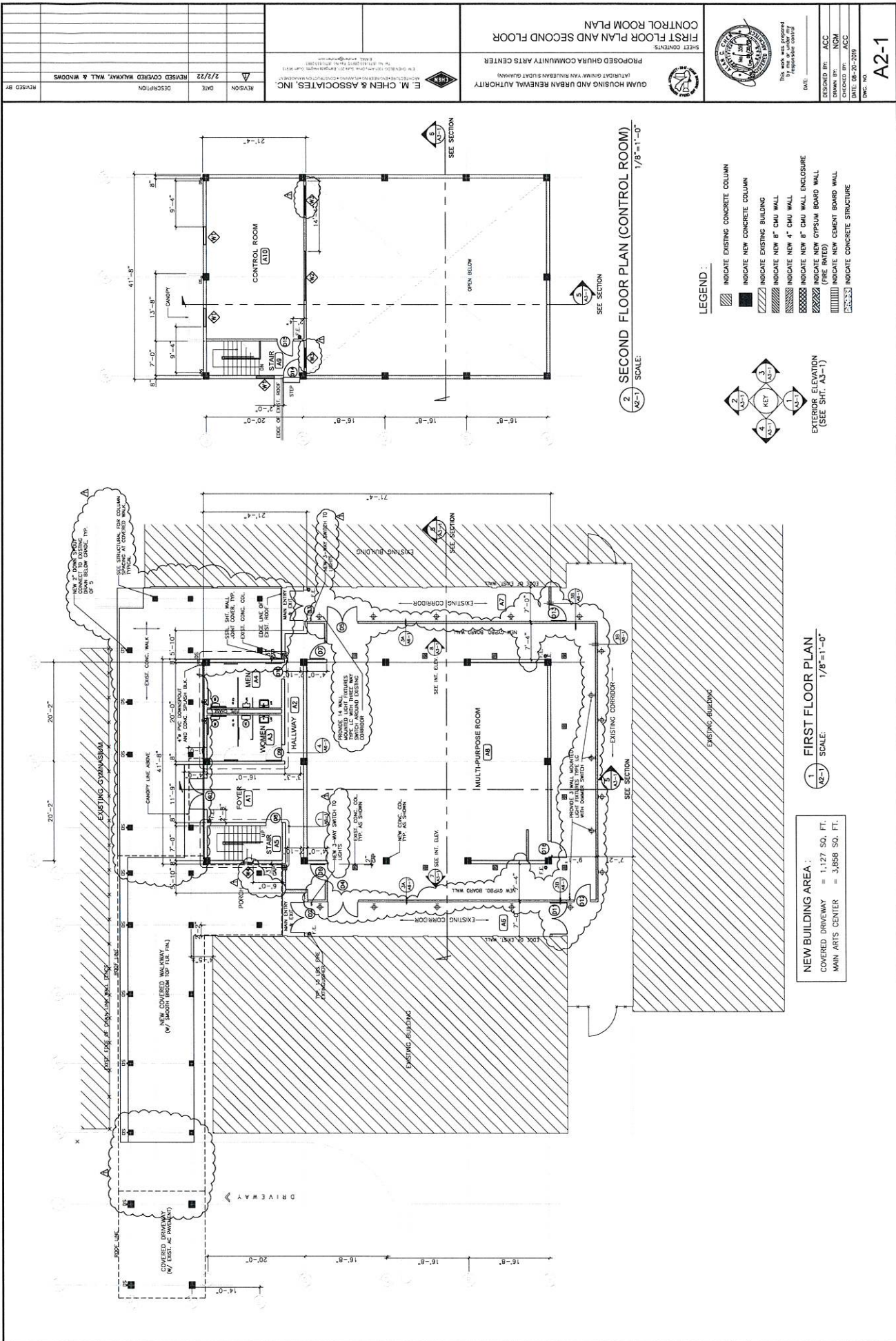
Description: We requested for a change order based on revised drawing and Mayor's request for the walkway extension and miscellaneous items. We also request for additional 4 months' time extension starting from the date of acceptance of this change order for apparent reasons that the local workers were sucked away by the military projects and we had requested Ghura help to allow our H2B workers on this projects, however we hadn't received any response from Ghura since we submitted our request letter.

Item	Description	Quantity	Unit Cost	Total Cost
1.	Additional wall mounted lighting fixtures	17 EA	\$ 350.00	\$ 5,950.00
2.	Additional, conduit, rough-in, wire and switches	1 lot	\$ 11,050.00	\$ 11,050.00
3.	Additional Gypsum board partitions & Painting	745 SF	\$ 20.00	\$ 14,900.00
4.	Additional Aluminum Double doors (D11)	1 Ea	\$ 8,620.00	\$ 8,620.00
5.	Additional Aluminum sliding windows and shutter (W4)	1 Set	\$ 1,832.00	\$ 1,832.00
6.	Additional Aluminum sliding windows (W3)	2 Ea	\$ 1,794.00	\$ 3,588.00
7.	Additional Hepa Filtered for PCU-1 and PCU-2	2 sets	\$ 8,000.00	\$16,000.00
<b>Total Cost</b>				<b>\$ 61,940.00</b>
Time Extension				4 Months

Your prompt review and approval will be greatly appreciated!

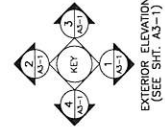
Response to CO #6A:

 Submitted By: David Zhang	03-09-22 Date
_____ Approved By (Print Name & Sign)	_____ Date/Time:



**1** FIRST FLOOR PLAN  
 SCALE: 1/8"=1'-0"

**NEW BUILDING AREA :**  
 COVERED DRIVEWAY = 1,127 SQ. FT.  
 MAIN ARTS CENTER = 3,858 SQ. FT.



- LEGEND :**
- ▨ INDICATE EXISTING CONCRETE COLUMN
  - INDICATE NEW CONCRETE COLUMN
  - ▨▨▨▨ INDICATE EXISTING BUILDING
  - ▨▨▨▨ INDICATE NEW 8" CHU WALL
  - ▨▨▨▨ INDICATE NEW 4" CHU WALL
  - ▨▨▨▨ INDICATE NEW 8" CHU WALL ENCLOSURE (FIRE RATED)
  - ▨▨▨▨ INDICATE NEW GYPSUM BOARD WALL
  - ▨▨▨▨ INDICATE NEW CEMENT BOARD WALL
  - ▨▨▨▨ INDICATE CONCRETE STRUCTURE

**2** SECOND FLOOR PLAN (CONTROL ROOM)  
 SCALE: 1/8"=1'-0"

**SHEET CONTAINS**  
 FIRST FLOOR PLAN AND SECOND FLOOR PLAN

PROPOSED GHURA COMMUNITY ARTS CENTER  
 (LATIUNDAI GHURA YAN RINEENAN SUKOTI GHURAN)

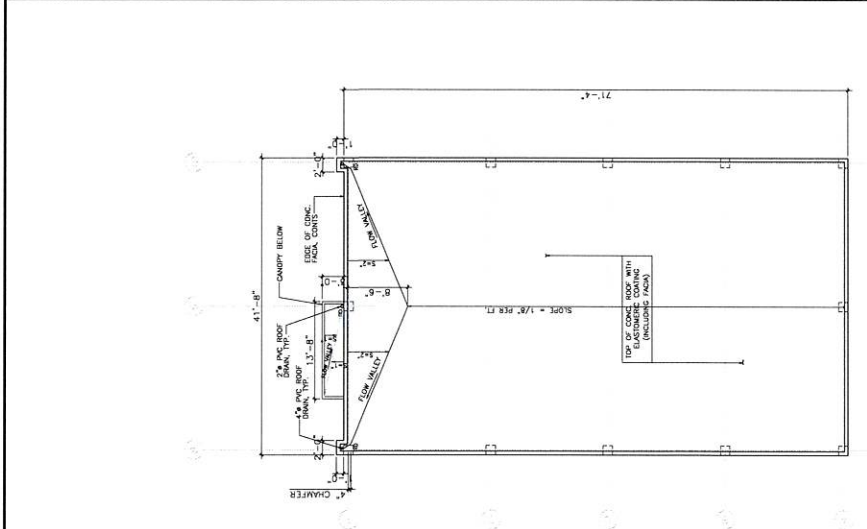
GUAM HOUSING AND URBAN RENEWAL AUTHORITY

**REVISION**

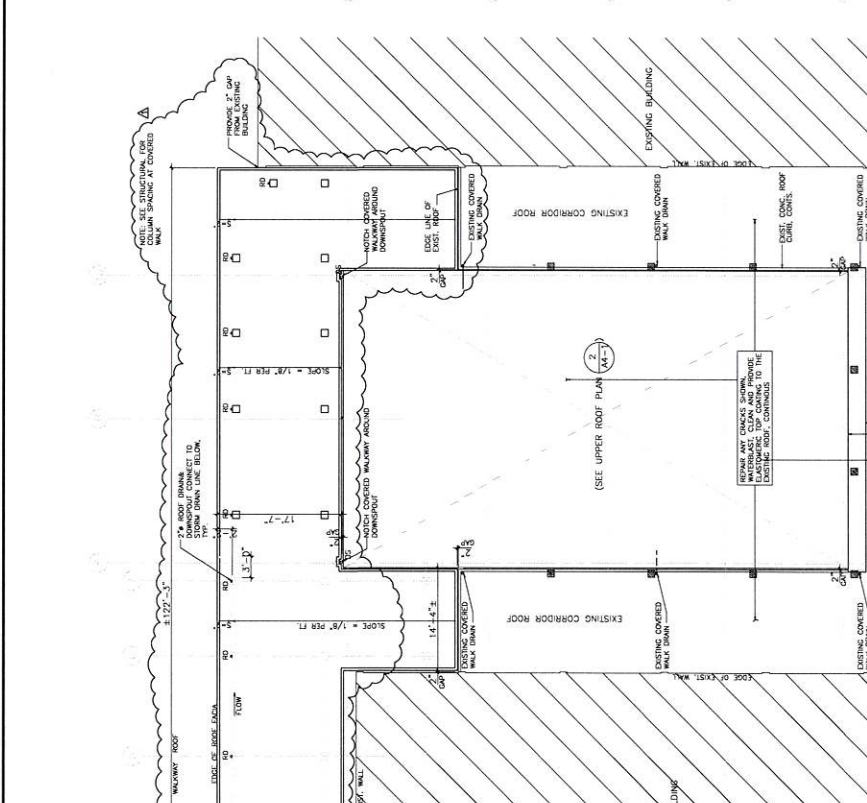
REVISION	DATE	DESCRIPTION
1/1/22		REVISED COVERED WALKWAY, WALL & WINDOWS

REVISION BY

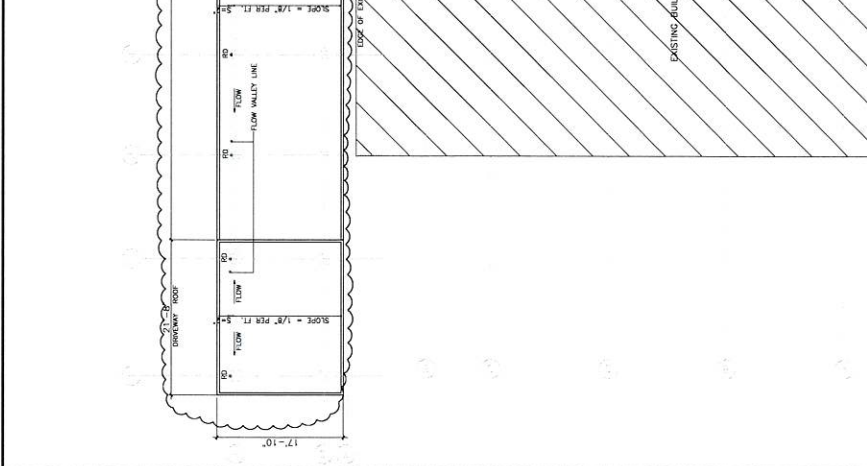
**DESIGNED BY:** ACC  
**DRAWN BY:** NCM  
**CHECKED BY:** ACC  
**DATE:** 08-20-2019  
**DWG. NO.:** A2-1



**2** ROOF PLAN @ UPPER ROOF  
 SCALE: 1/8"=1'-0"



**1** ROOF PLAN @ LOWER ROOF  
 SCALE: 1/8"=1'-0"



**3** CATCH-BASIN DETAIL  
 SCALE: 1/8"=1'-0"

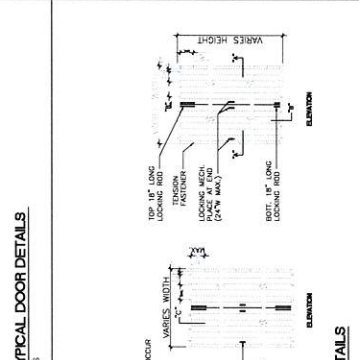
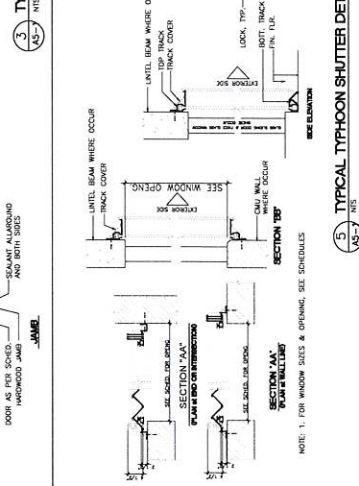
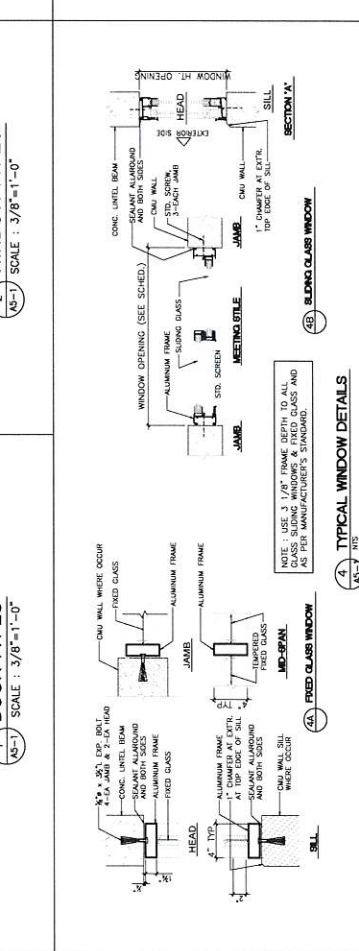
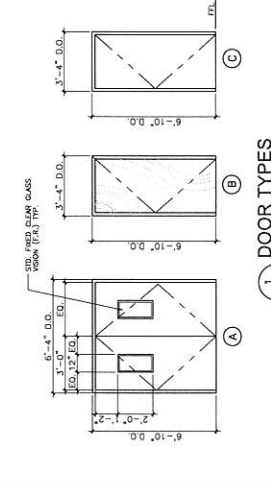
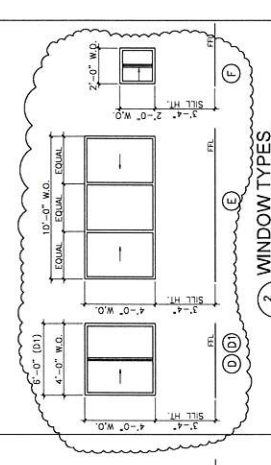
**DOOR AND WINDOW SCHEDULES**

MARK	THK.	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	HOMINAL SIZE WIDTH	HOMINAL SIZE HEIGHT	MATERIAL DOOR	FRAME	TYPE	DESCRIPTIONS	REMARKS
D1	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	A	SINGLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D2	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	B	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D3	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	C	DOUBLE SHING ALUMINUM PANE DOOR WITH GLASS VISION DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D4	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	D	DOUBLE SHING ALUMINUM PANE DOOR WITH GLASS VISION DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D5	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	E	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D6	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	F	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D7	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	G	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D8	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	H	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D9	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	I	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D10	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	J	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D11	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	K	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D12	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	L	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D13	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	M	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D14	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	N	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D15	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	O	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D16	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	P	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D17	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	Q	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D18	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	R	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D19	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	S	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D20	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	T	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D21	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	U	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D22	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	V	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D23	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	W	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D24	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	X	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D25	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	Y	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D26	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	Z	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D27	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AA	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D28	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AB	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D29	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AC	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D30	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AD	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D31	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AE	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D32	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AF	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D33	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AG	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D34	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AH	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D35	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AI	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D36	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AJ	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D37	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AK	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D38	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AL	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D39	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AM	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D40	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AN	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D41	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AO	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D42	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AP	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D43	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AQ	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D44	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AR	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D45	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AS	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH
D46	1-3/4"	3'-4"	6'-8"	3'-4"	6'-8"	PLY	ALUM.	AT	DOUBLE SHING ALUMINUM PANE DOOR WITH COMPLETE HARDWARE SETS & FINISH	WITH COMPLETE HARDWARE SETS & FINISH

NOTE: 1. ALL EXTERIOR EXIT DOORS SHALL HAVE STAMPAED PANE HARDWARE. PHOTIC EXIT LIGHTS ABOVE DOOR AS REQUIRED.  
 2. ALL EXTERIOR GLASS WINDOWS SHALL STAMP FOR 175 MPH WIND LOAD. PHOTIC THROUGH SHUTTER AS INDICATED ON SCHEDULES.

**INTERIOR ROOM FINISH SCHEDULES**

MARK	ROOM NAME	FLOOR	WALL BASE	A	B	C	D	CEILING	REMARKS
A1	HALLWAY	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	NOTE: ALL BUILDING EXTERIOR FINISHES SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULES FOR EXTERIOR FINISHES. INTERIOR FINISHES SHALL BE ACCORDING TO THE SPECIFICATIONS AND SCHEDULES FOR INTERIOR FINISHES.
A2	WOMEN'S TOILET	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A3	MEN'S TOILET	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A4	TOILET	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A5	CORRIDOR (DASHING)	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A6	CORRIDOR (DASHING)	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A7	CORRIDOR (DASHING)	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A8	MULTI-PURPOSE ROOM	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A9	MULTI-PURPOSE ROOM	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A10	MULTI-PURPOSE ROOM	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A11	MULTI-PURPOSE ROOM	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	
A12	CONTROL ROOM	1ST	SMOOTH CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	



**PROPOSED GHURA COMMUNITY ARTS CENTER**  
 (PUNLAUT GIYMA KAYEN RENEWAL AUTHORITY)

**E. M. CHEN & ASSOCIATES, INC.**

**DOOR AND WINDOW SCHEDULES**

DATE: \_\_\_\_\_

DESIGNED BY: ACC  
 DRAWN BY: NDU  
 CHECKED BY: ACC  
 DATE: 08-20-2019  
 PWC. NO. \_\_\_\_\_

**A4-1**

REVISION

REVISION	DATE	DESCRIPTION

REVISED BY: \_\_\_\_\_

# Mega United Corp.

Ixo Industrial Park, 215 Rojas St. Suite 208, Harmon Guam 96913  
ph/fx: 671-649-0397

## CHANGE-ORDER REQUEST #6

TO:  Mr. Sonny Perez	SUBMITTED BY:  David Zhang/Mega United Corporation	DATE:  2/22/2022
COMPANY:  Ghura	WE ARE TRANSMITTING  <input type="checkbox"/> ATTACHED <span style="float: right;"><input type="checkbox"/> SEPARATELY VIA</span>	
PROJECT:  Ghura Community Art Center in Sinajana		


**Change Order Requested:**

Description: We requested for a change order based on revised drawing and Mayor's request for the walkway extension and miscellaneous items. We also request for additional 10 months' time extension starting from the date of acceptance of this change order for apparent reasons that the local workers were sucked away by the military projects and we had requested Ghura help to allow our H2B workers on this projects, however we hadn't received any response from Ghura since we submitted our request letter.

Item	Description	Quantity	Total Cost	
1.	Copies and Prints, Bond and insurance Extension and additional building permit processing	1 Lot	\$ 21,600.00	
2.	New walkway downspot & connect to main	1 Lot	\$8,000.00	
3.	Additional covered walkway (all works)	1 Lot	\$ 287,600.00	
4.	Roof Coating for additional covered walkway	1 Lot	\$ 14,380.00	
5.	Additional wall mounted lighting fixtures, conduit, rough-in, wire and switches	1 Lot	\$ 17,000.00	
6.	Additional Gypsum board partitions	1 Lot	\$ 14,900.00	
7.	Aluminum Double doors, sliding windows and shutter	1 Lot	\$ 14,040.00	
8.	Hepa Filterd for PCU-1 and PCU-2	2 sets	\$16,000.00	
<b>Total Cost</b>			<b>\$ 393,520.00</b>	
Time Extension			10 Months	

Your prompt review and approval will be greatly appreciated!

Response to CO #6:

 _____ Submitted By: David Zhang	_____ 02-22-22 Date
_____ Approved By (Print Name & Sign)	_____ Date/Time:

REVISION	DATE	DESCRIPTION

REVISED BY

E.M. CHEN & ASSOCIATES, INC.  
 4115 KENNEDY AVENUE, SUITE 200, HOUSTON, TEXAS 77025  
 TEL: 281-417-9999 FAX: 281-417-9998  
 WWW: www.emchen.com

GUAM HOUSING AND URBAN RENEWAL AUTHORITY  
 PROPOSED GUAM COMMUNITY ARTS CENTER  
 STRUCTURAL NOTES  
 EXPANSION AND CONTRACTION JOISTS

EMC No. 30200  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 GUAM

DATE: \_\_\_\_\_  
 DESIGNED BY: EMC  
 DRAWN BY: EGD  
 CHECKED BY: ACC/EMC  
 DATE: \_\_\_\_\_  
 DMC NO. \_\_\_\_\_

This work was prepared by me or under my immediate control.

S-1.0  
 PLOT: 1/8" = 1'-0" (24"x36")

**STRUCTURAL NOTES**

**A. DESIGN CODES AND CRITERIA**

1. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE/SD 7-10
2. WIND LOAD - WIND SPEED AT 170 MPH PEAK GUST, qb=74 PSF
3. SEISMIC - ZONE 4 REQUIREMENTS

**B. DESIGN LOADS**

1. LIVE LOADS
2. DEAD LOADS
3. WIND LOAD - WIND SPEED AT 170 MPH PEAK GUST, qb=74 PSF
4. SEISMIC - ZONE 4 REQUIREMENTS

**C. GENERAL NOTES:**

1. ALL DIMENSIONS ARE IN FEET, UNLESS OTHERWISE NOTED.
2. PROVIDE SUFFICIENT REINFORCING AND OTHER CONTRACT REQUIREMENTS AND NOTES ON DRAWINGS TO THE OWNER FOR ENGINEER REVIEW AND CONCURRENCE WITH THE CITY OF GUAM.
3. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS.
4. DETAILS SHOWN ON DRAWINGS SHALL BE TYPICAL FOR ALL SIMILAR CONDITIONS.
5. SEE ARCHITECTURAL DRAWINGS FOR DETAILS AND DIMENSIONS NOT NOTED OR SHOWN.
6. PROVIDE SUFFICIENT REINFORCING AND OTHER CONTRACT REQUIREMENTS AND NOTES ON DRAWINGS TO THE OWNER FOR ENGINEER REVIEW AND CONCURRENCE WITH THE CITY OF GUAM.
7. PROVIDE SUFFICIENT REINFORCING AND OTHER CONTRACT REQUIREMENTS AND NOTES ON DRAWINGS TO THE OWNER FOR ENGINEER REVIEW AND CONCURRENCE WITH THE CITY OF GUAM.

**D. CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 48 HOURS IN ADVANCE PRIOR TO CONCRETE POURING FOR REVIEW AND OBSERVATIONS OF EXCAVATIONS, REINFORCING AND FORMWORK.
2. CONSTRUCTION LOADING SHALL NOT EXCEED THE DESIGN LIVE LOADS UNLESS SPECIAL SHORING IS PROVIDED. ALLOWABLE LOADS SHALL BE REDUCED IN AREAS WHERE THE CONTRACTOR PROVIDES SPECIAL SHORING.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A LEVEL TOP SURFACE OF ALL FORMS AND BRACKETS TO BE USED FOR CONCRETE POURING.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING AND BRACING OF ALL EXISTING STRUCTURES TO REMAIN AND NEW STRUCTURES FOR ALL LOADS AND CONDITIONS.
5. SEE ARCHITECTURAL DRAWINGS FOR ROOT SLOPES, CHAMFERS, EDGE DRIPS, REGLETTS, FINISHES, AND OTHER NON-STRUCTURAL ITEMS NOT SHOWN OR SPECIFIED ON DRAWINGS.

**E. EARTHWORK NOTES:**

1. CAPACITY = 3,000 PSF
2. FILL MATERIAL SHALL BE NON-EXPANSIVE AND OF ACCEPTABLE GRADATION. SEE SPECIFICATIONS FOR DETAILS.
3. BACKFILL AROUND FOOTINGS AND FOUNDATIONS SHALL BE COMPACTED IN LAYERS BY MEANS OF A PNEUMATIC TAMPER INTO A DENSE MASS TO NOT LESS THAN 95% DENSITY.
4. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITY LINES AND DANGER TO LIFE, LIMB AND PROPERTY.
5. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITY LINES AND DANGER TO LIFE, LIMB AND PROPERTY.

**F. CONCRETE NOTES:**

1. ALL CONCRETE ITEMS SHALL DEVELOP THE FOLLOWING MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS:
  - a. FOOTINGS: 4,000 PSI
  - b. ROOF SLAB/CANOPY, FASCIA, COLUMN AND BEAM: 4,000 PSI
2. USE OF ADMIXTURES AT CONTRACTOR'S OPTION BUT SUBJECT TO THE ENGINEER'S APPROVAL.
3. UNLESS OTHERWISE SHOWN, CONSTRUCTION JOINTS SHALL BE LOCATED AS TO LEAST IMPAIR THE STRUCTURAL INTEGRITY OF THE STRUCTURE. CLEAR AND WELDED JOINTS SHALL BE PROVIDED WITH NEXT POUR. THE CONTRACTOR SHALL LOCATE THE JOINTS SUBJECT TO THE APPROVAL OF THE DESIGN ENGINEER.

**REINFORCING STEEL NOTES:**

1. REINFORCING STEEL SHALL CONFORM TO ASTM A118, CALVANIZED.
2. WELDED WIRE FABRIC SHALL CONFORM WITH ASTM A185, CALVANIZED.
3. WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE WITH AWS D1.1.
4. MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS:
  - a. TOP: 3"
  - b. BOTTOM: 1-1/2"
  - c. SIDE: 1"
5. BAR BENDS, HOOKS AND OFFSETS SHALL BE IN ACCORDANCE WITH ACI RECOMMENDATIONS.
6. ALL DOWELS SHALL BE THE SAME SIZE AND SPACING AS THE BARS TO WHICH THEY ARE ATTACHED.
7. SPECIAL PLASTIC SPACERS OR APPROVED EQUAL SHALL BE USED TO MAINTAIN REQUIRED MINIMUM CONCRETE COVER. CHAIR SPACING SHALL BE SUFFICIENTLY CLOSE TO MAINTAIN MINIMUM CONCRETE COVER.
8. THE CONTRACTOR SHALL SUBMIT ALL REINFORCEMENT BAR CUTTING LISTS OR REINFORCING LISTS TO THE ENGINEER FOR APPROVAL.
9. LAP LENGTH SHALL BE 48 BAR DIAMETER OR 24 INCHES WHICHEVER IS GREATER.
10. LOCATION OF SPLICES UNLESS SHOWN OTHERWISE SHALL BE AS FOLLOWS:
  - a. TOP BARS - TOP BARS AT MID SPAN
  - b. BOTTOM BARS - BOTTOM BARS AT MID SPAN
  - c. BEAMS/SLABS - TOP BARS AT MID SPAN
11. THE MINIMUM TENSILE DEVELOPMENT LENGTH (LAP SPLICES) SHALL BE AS STATED BELOW AND IN ACCORDANCE WITH ACI DETAILING MANUAL.

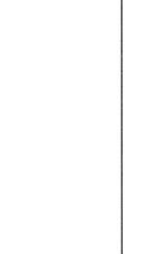
**TABLE 1 - TENSILE DEVELOPMENT LENGTH**

BAR SIZE	LAP SPURCE	EMBEDMENT LENGTH
#3	TOP BAR	OTHERS
#4	16	13
#5	21	17
#6	27	21
#7	33	27
#8	40	33
#9	48	40
#10	57	48
#11	66	57
#12	75	66
#13	84	75
#14	93	84
#15	102	93
#16	111	102
#17	120	111
#18	129	120
#19	138	129
#20	147	138
#21	156	147
#22	165	156

**CONTRACTION JOINT**



**EXPANSION JOINT**



135° SEISMIC STIRRUP/TIE HOOK DIMENSION ALL GRADES

BAR SIZE	D	A or G	H (APPROX)
#3	1-1/2"	4"	3"
#4	2"	4-1/2"	3"
#5	2-1/2"	5-1/2"	3-3/4"
#6	3"	6"	4-1/2"
#7	3-1/2"	7"	5-1/4"
#8	4"	8"	6"

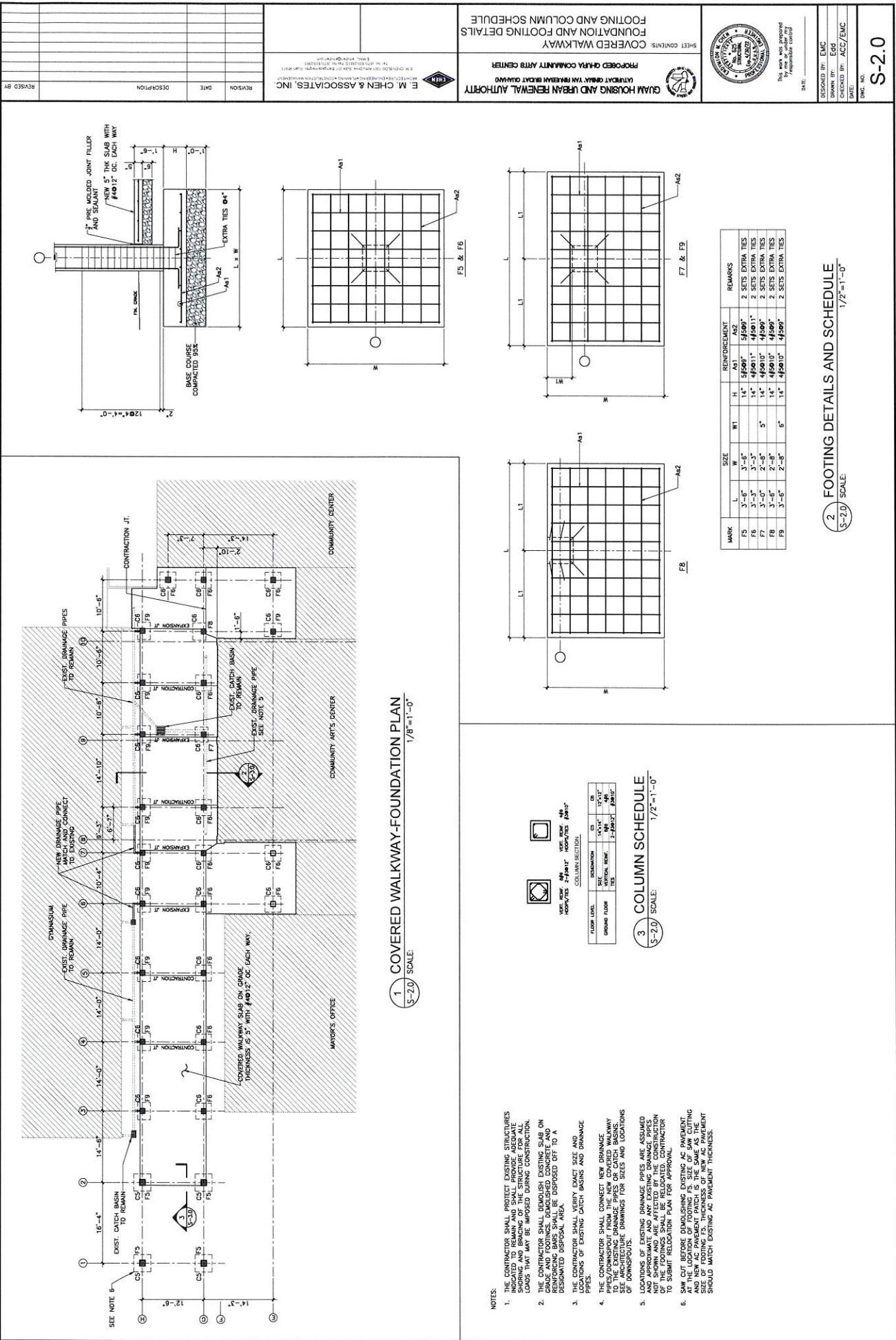
**RECOMMENDED END HOOKS**

ALL GRADES

BAR SIZE	D	180 DEGREE HOOK A or G	90 DEGREE HOOK J A or G
#3	2-1/4"	5"	6"
#4	3"	6"	7"
#5	3-3/4"	7"	8"
#6	4-1/2"	8"	10"
#7	5-1/4"	10"	12"
#8	6"	11"	14"
#9	7"	13"	16"
#10	8"	15"	18"
#11	9-1/2"	17"	20"
#12	11"	19"	22"

**STANDARD HOOKS**





1 COVERED WALKWAY-FOUNDATION PLAN  
1/8"=1'-0"

3 COLUMN SCHEDULE  
5'-2.0" SCALE: 1/2"=1'-0"

2 FOOTING DETAILS AND SCHEDULE  
5'-2.0" SCALE: 1/2"=1'-0"

- NOTES:
- THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES INDICATED TO REMAIN AND SHALL PROVIDE ADEQUATE SHORING AND BRACING OF THE STRUCTURE FOR ALL LOADS THAT MAY BE IMPOSED DURING CONSTRUCTION.
  - EXISTING AND PROPOSED CONCRETE FOUNDATION, ON DECK AND FLOOR, UNDESIGNED CONCRETE AND REINFORCING BARS SHALL BE DISPOSED OFF TO A DESIGNATED DISPOSAL AREA.
  - THE CONTRACTOR SHALL VERIFY EXACT SIZE AND LOCATION OF EXISTING CATCH BASIN AND DRAINAGE PIPES.
  - THE CONTRACTOR SHALL CONNECT NEW DRAINAGE PIPES/DOWNSPOUT FROM THE NEW COVERED WALKWAY TO EXISTING DRAINAGE SYSTEMS AS SHOWN. SEE ARCHITECTURE DRAWINGS FOR SIZES AND LOCATIONS OF DOWNSPOUTS.
  - LOCATIONS OF EXISTING DRAINAGE PIPES ARE ASSUMED TO BE AS SHOWN AND ARE AFFECTED BY THE CONSTRUCTION OF THIS COVERED WALKWAY. THE CONTRACTOR TO VERIFY EXISTING DRAINAGE SYSTEMS AS SHOWN AND NEW AC PAVEMENT PATCH IS THE SAME AS THE EXISTING AC PAVEMENT. THE CONTRACTOR SHOULD MATCH EXISTING AC PAVEMENT THICKNESS.

GUAM HOUSING AND URBAN REHABILITATION AUTHORITY  
PROPOSED GUAMA MUSEUM ARTS CENTER

E. M. CHEN & ASSOCIATES, INC.  
REGISTERED PROFESSIONAL ARCHITECTS AND ENGINEERS  
1000 GARDEN DRIVE, SUITE 200, HONOLULU, HI 96813  
PHONE: (808) 943-8888 FAX: (808) 943-8889  
WWW.EMCHENANDASSOCIATES.COM

SHEET CONTENTS:  
COVERED WALKWAY  
FOUNDATION AND FOOTING DETAILS  
FOOTING AND COLUMN SCHEDULE

DATE: \_\_\_\_\_  
DESIGNED BY: EMC  
DRAWN BY: EGD  
CHECKED BY: ACC/EMC  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISORIAL CONTROL

REVISED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_  
REVISION: \_\_\_\_\_

S-2.0

PL01: 1/8"=1'-0" (24"x36")

REVISION	DATE	DESCRIPTION	REVISOR

REVISOR: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_

E. M. CHEN & ASSOCIATES, INC.  
 1000 K STREET, N.W., SUITE 1000, WASHINGTON, D.C. 20004  
 TEL: (202) 638-1100 FAX: (202) 638-1101  
 WWW: WWW.EMCHEN.COM

PROPOSED GUAMA COMMUNITY ARTS CENTER  
 GUAMA HOUSING AND URBAN RENEWAL AUTHORITY

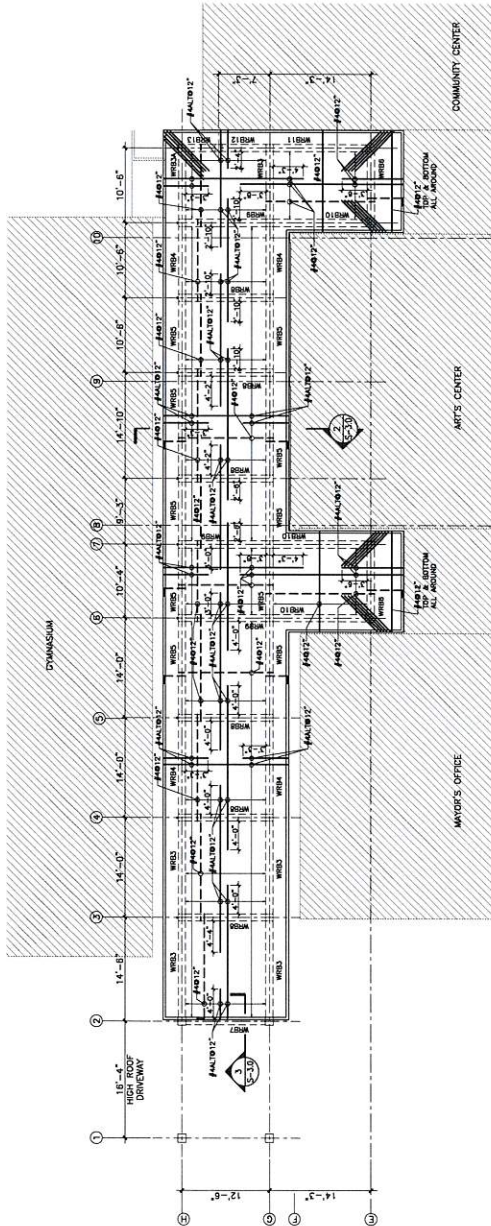
COVERED WALKWAY  
 ROOF FRAMING PLANS  
 SECTIONS AND DETAILS

DESIGNED BY: EMC  
 DRAWN BY: EGD  
 CHECKED BY: ACC/EMC  
 DATE: \_\_\_\_\_

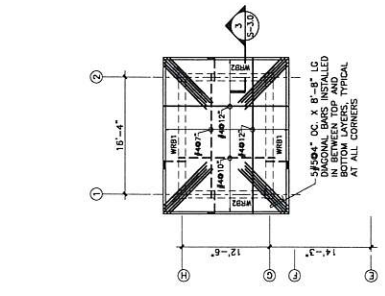
PROJECT NO.: S-3-0

THIS WORK WAS PREPARED BY THE ARCHITECT FOR THE PROJECT AND IS NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

PL. 001, 1/8"=1'-0" (24"x36")



LOWER ROOF

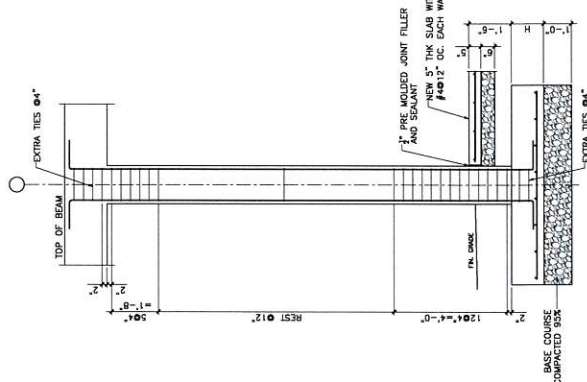


HIGH ROOF @ DRIVEWAY

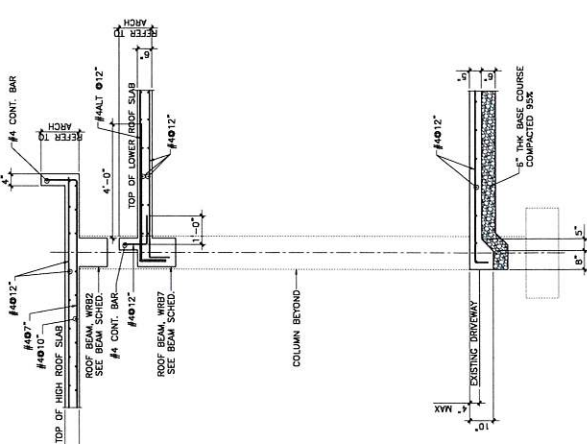
- NOTES:
- ALL BARS ALONG THE WEST-EAST DIRECTION SHALL BE INSTALLED AT OUTER LATHES.
  - PROVIDE #4@12" SPACER OR THE BARS NOT SHOWN ON THE PLANS.

LEGEND:  
 ——— INDICATES TOP BARS  
 - - - - - INDICATES BOTTOM BARS

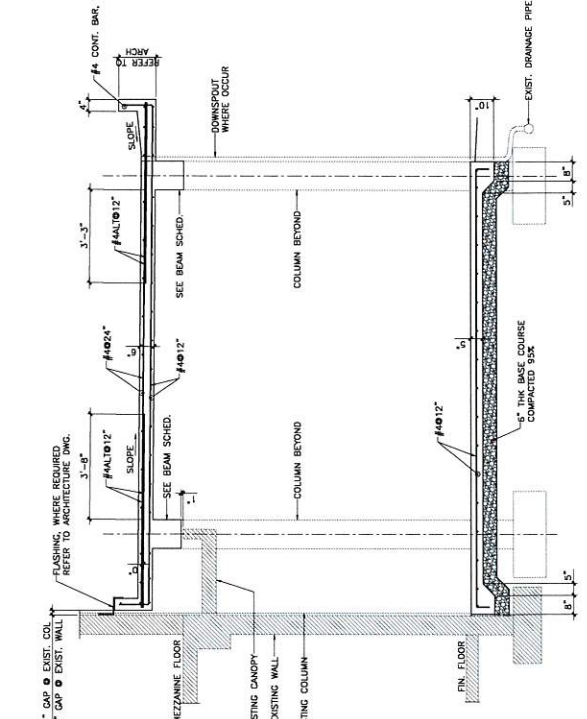
1 COVERED WALKWAY-ROOF FRAMING PLANS  
 1/8"=1'-0"  
 S-3-0 SCALE



4 COLUMN AND FOOTING DETAIL  
 1/2"=1'-0"  
 S-3-0 SCALE



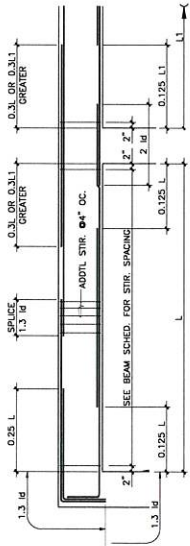
3 HIGH AND LOWER ROOF SECTION  
 1/2"=1'-0"  
 S-3-0 SCALE



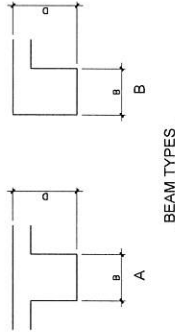
2 COVERED WALKWAY-SECTION  
 1/2"=1'-0"  
 S-3-0 SCALE

BEAM SCHEDULE

MARK	SIZE	BEAM TYPE	SUPPORT REINFORCEMENT SKETCH	SUPPORT	STR. SIZE	REINFORCEMENT	REMARK
B	D				LEFT	REST	
						RIGHT	
WRB1	12" 18"	A			#3 1005"	12" 1005"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB2	12" 18"	A			#3 805"	12" 805"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB3	12" 18"	A			#3 905"	12" 905"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB3A	12" 20"	A			#3 705"	12" 705"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB4	12" 18"	A			#3 905"	12" 905"	
WRB5	12" 18"	A			#3 905"	12" 905"	
WRB6	12" 16"	A			#3 705"	12" 705"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB7	12" 16"	B			#3 805"	12" 805"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB8	12" 16"	A			#3 805"	12" 805"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB9	12" 16"	A			#3 805"	12" 805"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB10	12" 16"	A			#3 905"	12" 905"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB11	12" 16"	A			#3 905"	12" 905"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG
WRB12	12" 16"	A			#3 505"	12" 505"	
WRB13	12" 16"	A			#3 305"	12" 305"	TOP BARS CAN EXTEND INTO THE ROOF OVERHANG



BEAM ELEVATION



BEAM TYPES

REVISION	DATE	DESCRIPTION	REVISION BY

E. M. CHEN & ASSOCIATES, INC.  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 11123 (EXPIRES 12/31/2023)  
 1000 N. HAWAIIAN BLVD., SUITE 200, HONOLULU, HI 96817  
 TEL: (808) 551-1111 FAX: (808) 551-1112  
 WWW.EMCHEN.COM

GUAM HOUSING AND URBAN RENEWAL AUTHORITY  
 PATRIOT GREAT TOWN SQUARE BRIGHT QUARTZ  
 PROPOSED GREAT WALKWAY  
 SHEET CONTENTS: COVERED WALKWAY BEAM SCHEDULE

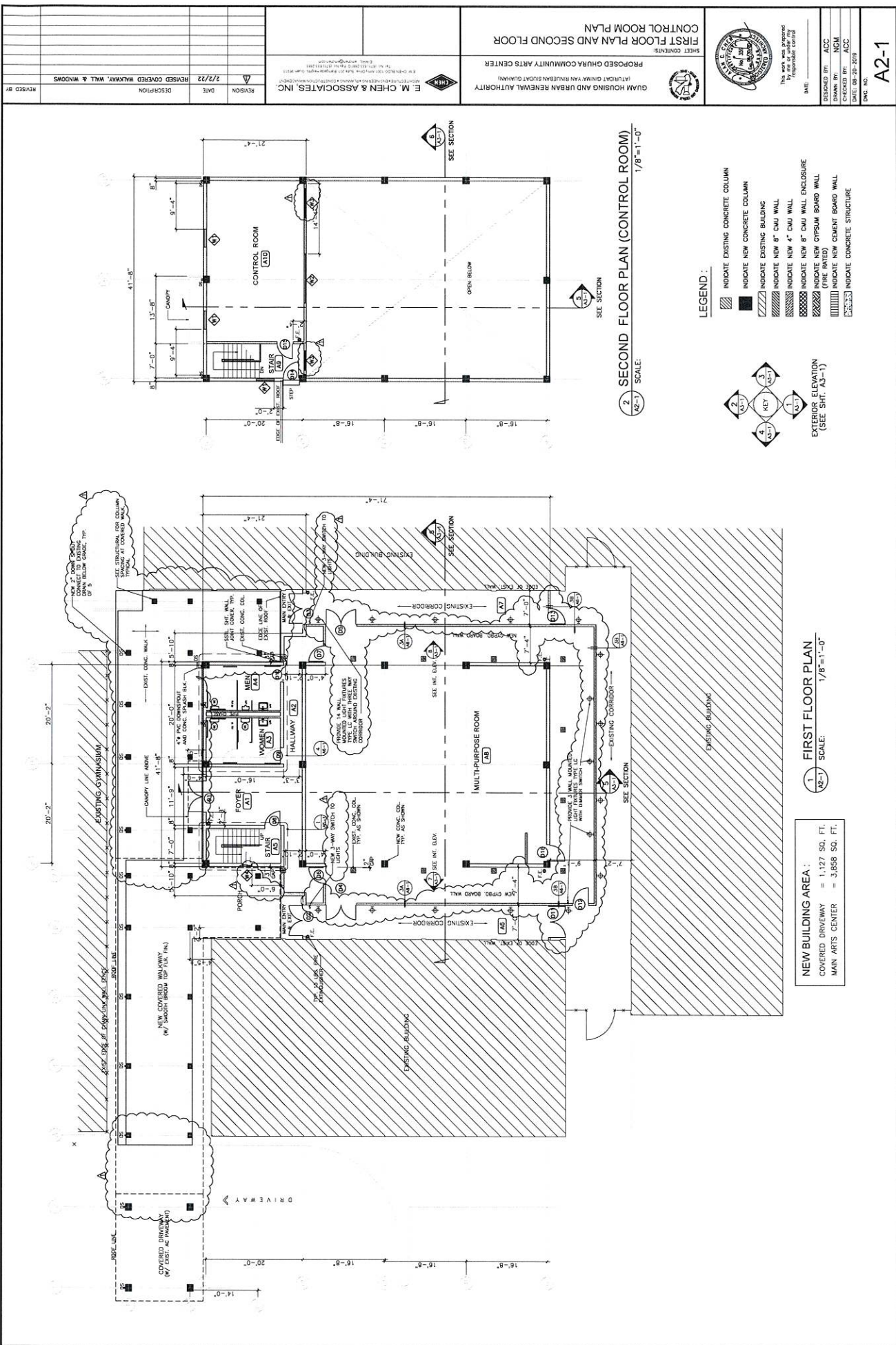
Professional Engineer Seal for E. M. Chen, License No. 11123, State of Hawaii.

DESIGNED BY:	EMC
DRAWN BY:	Egd
CHECKED BY:	ACC/EMC
DATE:	
EMC NO.:	

S-4.0

PLOT: 1/8"=1'-0" (24"x36")

1 COVERED WALKWAY-BEAM SCHEDULE  
 S-4.0 NOT TO SCALE



<p><b>E. M. CHEN &amp; ASSOCIATES, INC.</b> ARCHITECTS</p>	<p>PROPOSED GUHA COMMUNITY ARTS CENTER (AT UHAKI GUWA YAN RIVERBANK SUBST GUHAN)</p>	<p>GUAM HOUSING AND URBAN REFORM AUTHORITY</p>	<p>CONTROL ROOM PLAN AND SECOND FLOOR</p>
	<p>REVISION DATE DESCRIPTION</p> <p>2/2/22 REVISED COVERED WALKWAY, WALL &amp; WINDOWS</p>	<p>PROJECT NO. 2019-001</p>	<p>DATE: 08-20-2019</p>





# Resident Opportunity and Self-Sufficiency (ROSS) Program Update

Program Summary and Status Report  
November 2021 – May 2022



# About the ROSS program

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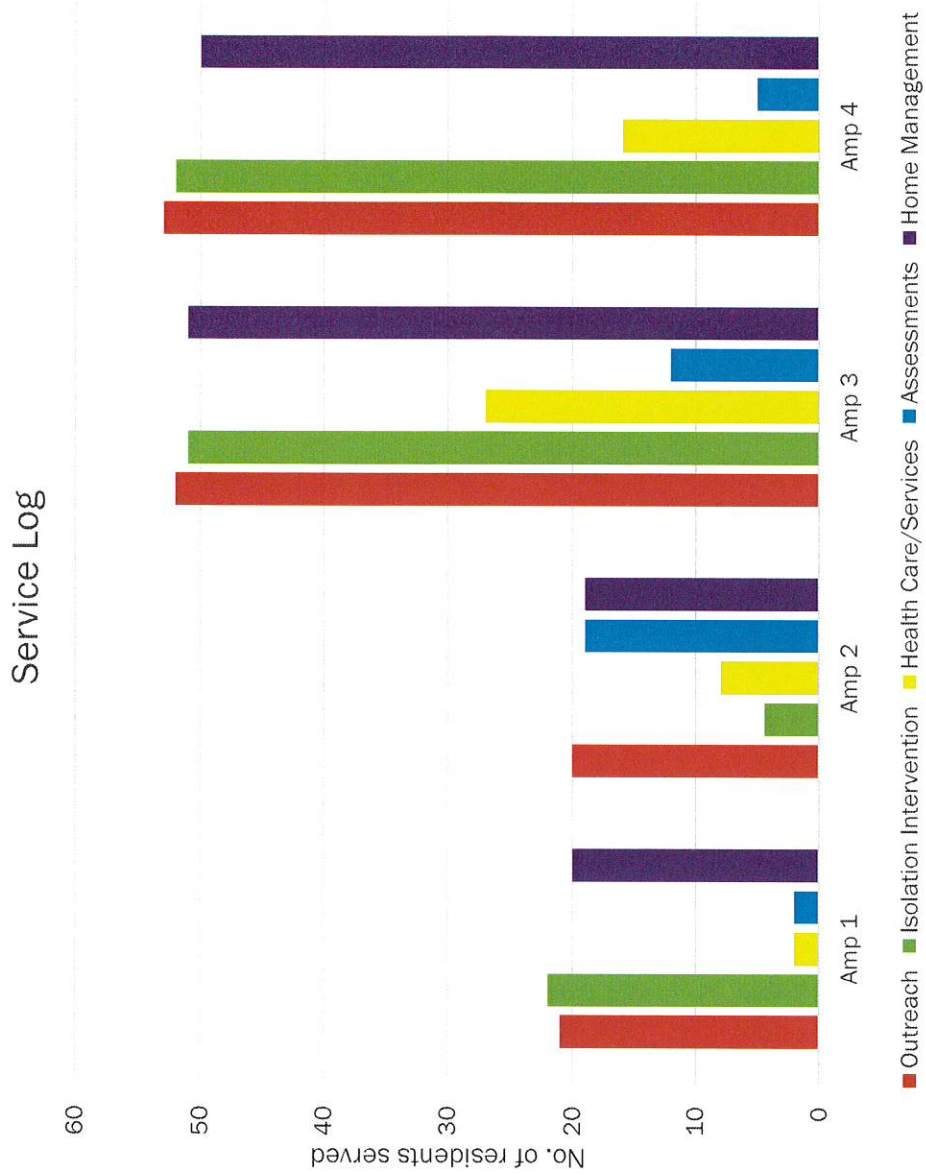
For elderly (age 62+) residents and persons with disabilities residing in GHURA's Public Housing, the ROSS Program aims to:

- Enhance quality of life by connecting residents to services and activities
- Enable participants to age/remain in place
- Avoid more costly forms of care, such as nursing homes or other institutional facilities

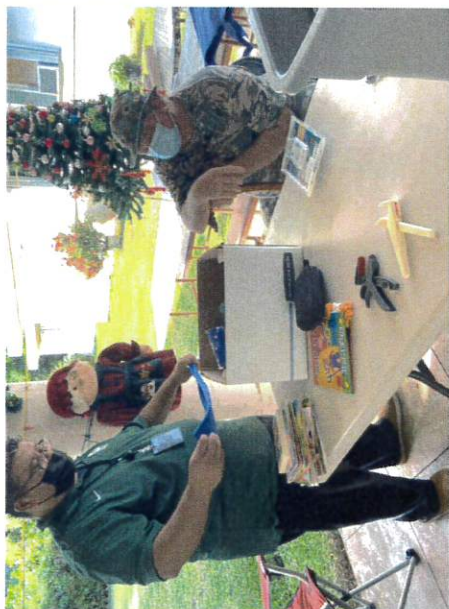




# ROSS Service Log November 2021 – May 2022



# Programs & Outreaches



# Holiday Activities 2021

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## Merizo Elderly Holiday Dinner with Southern High National Honor Society

- Southern High NHS coordinated with ROSS SC to provide a hot, pre-packaged meal for each Merizo Elderly resident.
- The students delivered the meals themselves while also adhering to social distancing and safety guidelines.



## ROSS Necessities Donation Drive (GHURA Employees)

- From December 1<sup>st</sup>, 2021 – December 20<sup>th</sup>, 2021 staff were informed of a donation drive for GHURA's elderly residents. A list of much needed donation items were provided along with the flyer.
- Donated Items included: Hand sanitizer, shampoo, towels, soap, face masks, rubbing alcohol, reusable bags, nonperishable snacks, and toothpaste.



## Intergenerational Gifts of the Hand 2021

**Goal:** To encourage interaction among all ages during the holidays, ROSS plans to partner with several Department of Education schools close by public housing areas. The intent is to increase self-esteem and life satisfaction while decreasing feelings of loneliness and isolation among the elderly. In addition, the hope is that the youth also benefit as they gain a sense of responsibility and empathy towards others, especially our most vulnerable populations.

- **Objective:** ROSS plans to partner with several Department of Education schools close by public housing areas. Determine art project for students to gift to residents, compile list of elderly residents, and coordinate deliveries and greeting cards.
- **Outcome:** 178 Elderly Public housing residents received homemade cards and/or ornaments, as well as gifts from different school communities



# Holiday Activities 2021



**LOCAL** *What's Happening in the Local Section of the Post - Be sure that everyone gets the word! Do you have a news tip? Feel free to email us!*

**MARINO CARE** contributed to the construction work as the solar project anticipated to come online by May 2022. When driving up the way to the site, the horizon quickly to an ocean of photovoltaic that almost create the impression of artificial islands.

Spokane E&C is the contractor for the project.

In late July, after investigating a report of runoff in the area, the Guam Environmental Protection Agency (EPA) issued a violation notice against the contractor after confirming that erosion and sediment control solar farm were not fully installed.

The incident was resolved by EPA and shortly after GEPCO and E&C found themselves back in the Office of the Attorney General and the property owner of World Meridian Saasayan LLC.

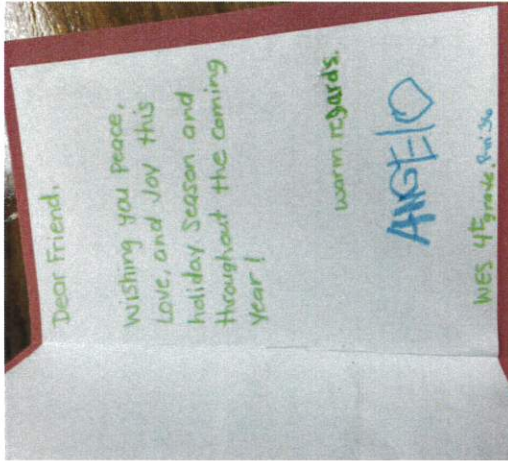
However, World Meridian's suit in late September at

## GATE students, teacher bring gifts to housing residents



**GIVING.** The holiday break for thousands of students, Guam-wide provided a chance for some of the Gifted and Talented Education students at Marciel A. Sablan Elementary School and their teacher, Tina Buañedicho, to participate in a gift-giving program for tenants of a Guam Housing and Urban Renewal Authority housing area. GHAURA's Resident Opportunity and Self-Sufficiency program works with some of the island's schools by providing a list of items, some of the public housing residents' needs, such as clothing and other personal care products. Buañedicho and her students collected plants and other items for the list. Photo courtesy of Tina Buañedicho.







Gifts from Merizo Martyrs & M.U. Lujan



**Guam Housing and Urban Renewal Authority's Resident Opportunity and Self-Sufficiency (ROSS) Program**

**MONTHLY NEWSLETTER**



**WHAT'S IN THIS MONTH'S ISSUE:**

- Welcome! & CHamoru Month
- Upcoming Events



**ROSS Newsletter**  
HAFA ADAI!

Hafa Adai ROSS participants! Can you believe we have already made it to March? Time flies by so fast!

In case you do not know me already, my name is Alina Butler and I am the service coordinator for GHURA'S ROSS Program. The goal of the ROSS program is to encourage healthy aging and promote self-sufficiency among our public housing residents.

A newsletter is a great way to keep all ROSS participants up to date on what's happening during this upcoming month and any important information.



**Quote of the Month**  
"Respetá i manámko, sa' siha fondasion i lina'la'-ta."  
"Respect our elders because they are the foundation of our lives."

March is National Nutrition Month, National Kidney Month, and National Colorectal Cancer Awareness Month. Here on Guam, we also celebrate Mes CHamoru or Chamorro month as well. This year's theme is "I Fino' CHamoru: Agon Iná'atotche, Hináhatsa yan Hinéhemió' Lina'la' - The CHamoru Language: Reconnecting, Rebuilding and Recovering."



**March 2022**

**Do you need any of these items?**





All items have been generously donated to the ROSS Program.

- Shampoo
- Bath Soap
- "Depends"
- Adult Undergarments (Men or Women)
- Toothpaste
- Towels
- Face Masks
- Alcohol Pads
- Coloring book & colored pencils

If you are interested in receiving any of the listed items for FREE, please contact ROSS coordinator, Alina Butler, at 671-475-1364 or albutler@ghhura.org

# ROSS Monthly Newsletter



# Administrative Tasks



Community Outreaches and Training

- National Association of Social Workers – GU Chapter Regional conference
- Guam System for Assistive Technology Fair
- Establish & Sustain New Partnerships
  - UOG Geriatric Workforce Enhancement Program
  - UOG SNAP-ED Program
  - Anchor of Hope
  - GSAT/CEDDERS
  - Manelu/MRCCOSS





# Upcoming Events & News

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## University of Guam Bachelor of Social Work Interns

- Two Senior BSW interns will be interning with GHURA'S ROSS program from August 2022 – May 2023
- Tasks will include: Assisting with outreach presentations, event planning and coordination, professional coordination and networking between ROSS partner agencies, introduction to case management, gaining experience with reporting and grant evaluation, and gaining experience with working with vulnerable populations
- Field Instructor – Francesca Gatz, MSW, Planner III
- Site Supervisor – Alina Butler, MSW Candidate, Program Coordinator II



# Upcoming Events & News Cont.

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Continued Partnership with UOG

- Lessons every month from GWEP
- Collaboration with UOG Social Work Program to host recreational events
  - Bingo, exercise, yoga, gardening etc.
- Senior Nursing Students “adopt” a site
  - Provide weekly/biweekly health visits and monitoring services

Medical Outreach with Todu Guam in August in Agat

Tentative Date: August 7<sup>th</sup>

- Back to school vaccines and shots
- Collaboration with Manelu

# Short Term Goals

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- Consistently conduct 1-2 outreach presentations/workshops at each Elderly site
- Continue to establish and strengthen partnerships with partner agencies
- Submit FY2021 annual report (October 2022)
- Conduct Needs Assessment across all four AMPs
  - Identify Areas of Need: Education, Financial Literacy, Health and Wellness, Employment, Elderly/Disabled Services

# Long Term Goals

Advance digital inclusion and increase digital literacy among residents.

- Provide digital literacy training programs
- Establish a small device/hotspot computer-lending program

**Address significant and/or frequent barriers/Areas of Need**

- Access to transportation
- Employment
- Education/GED
- Financial capability

Increase access to health and wellness services and provide on site healthy aging activities

- Ensure residents are receiving medical exams annually (or more frequently depending on case)
- Decrease amount of emergency room visits for residents

*Thank you!*

ALINA L. BUTLER, PROGRAM COORDINATOR II

[ALBUTLER@GHURA.ORG](mailto:ALBUTLER@GHURA.ORG)

671-475-1364